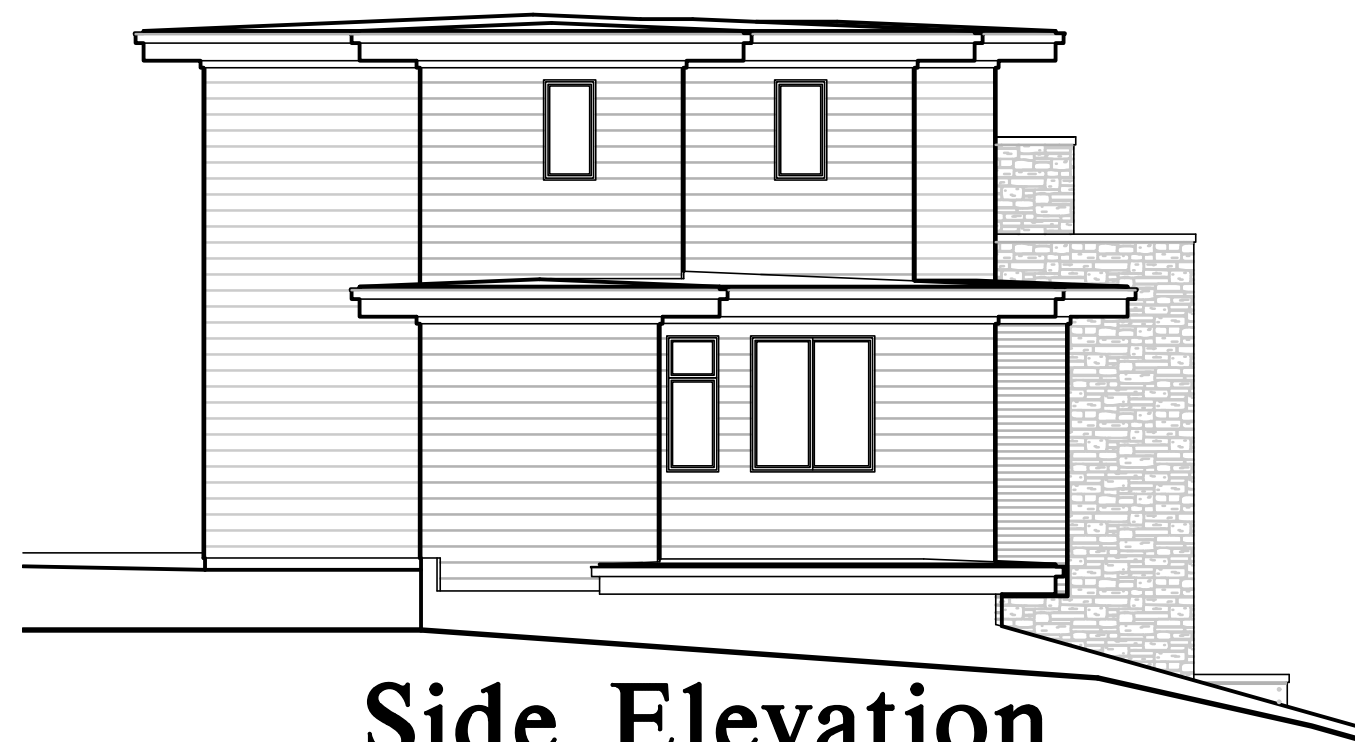


**Rear Elevation**



**Side Elevation**



**Side Elevation**



# Buchan Homes Westview Plan

Permit no. 2210-120

3036 67th Ave SE

Mercer Island, WA

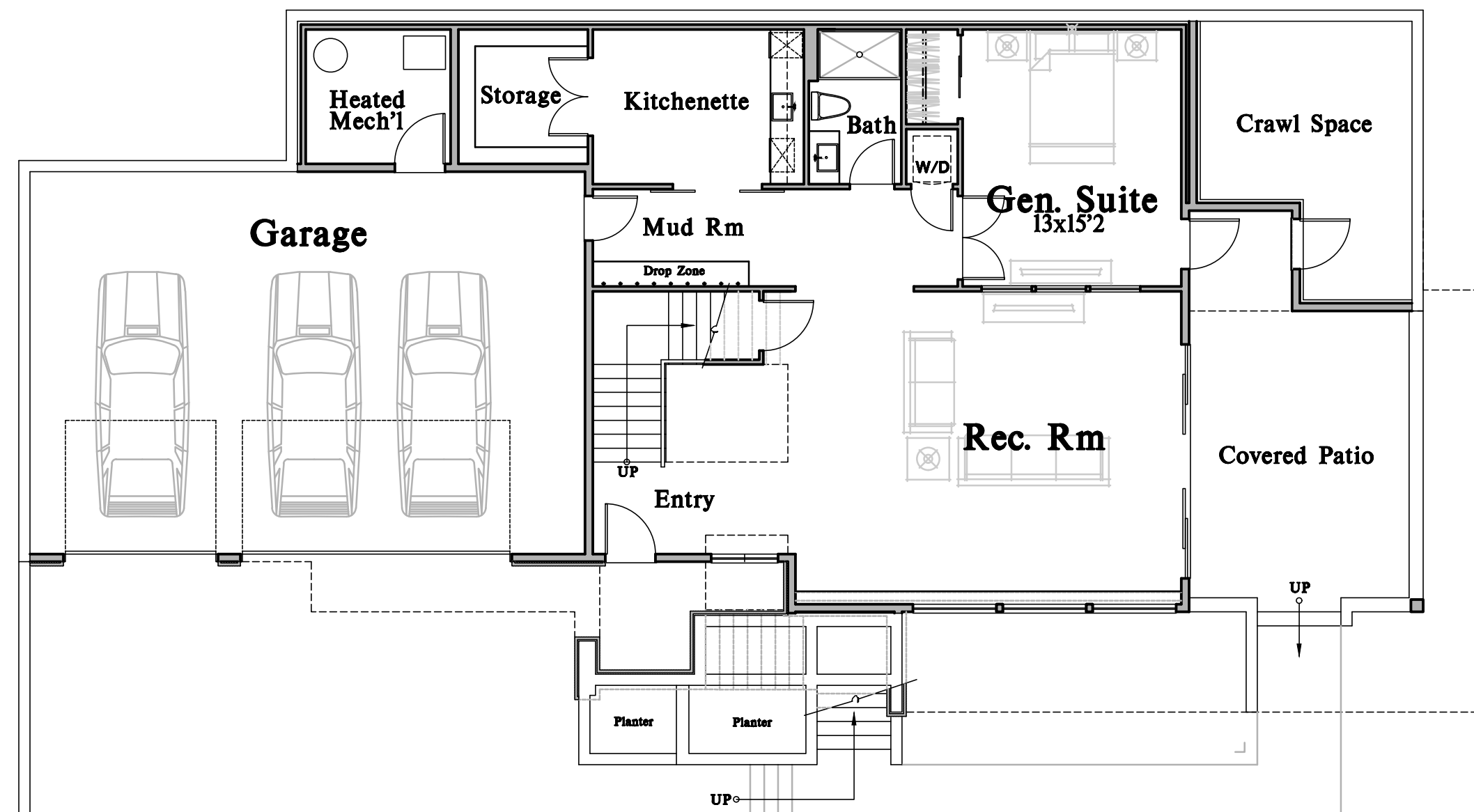
NFPA 13D FIRE SPRINKLER SYSTEM TO BE INSTALLED  
NFPA "CHAPTER 29" FIRE ALARM SYSTEM REQUIRED

**DRAWING INDEX**

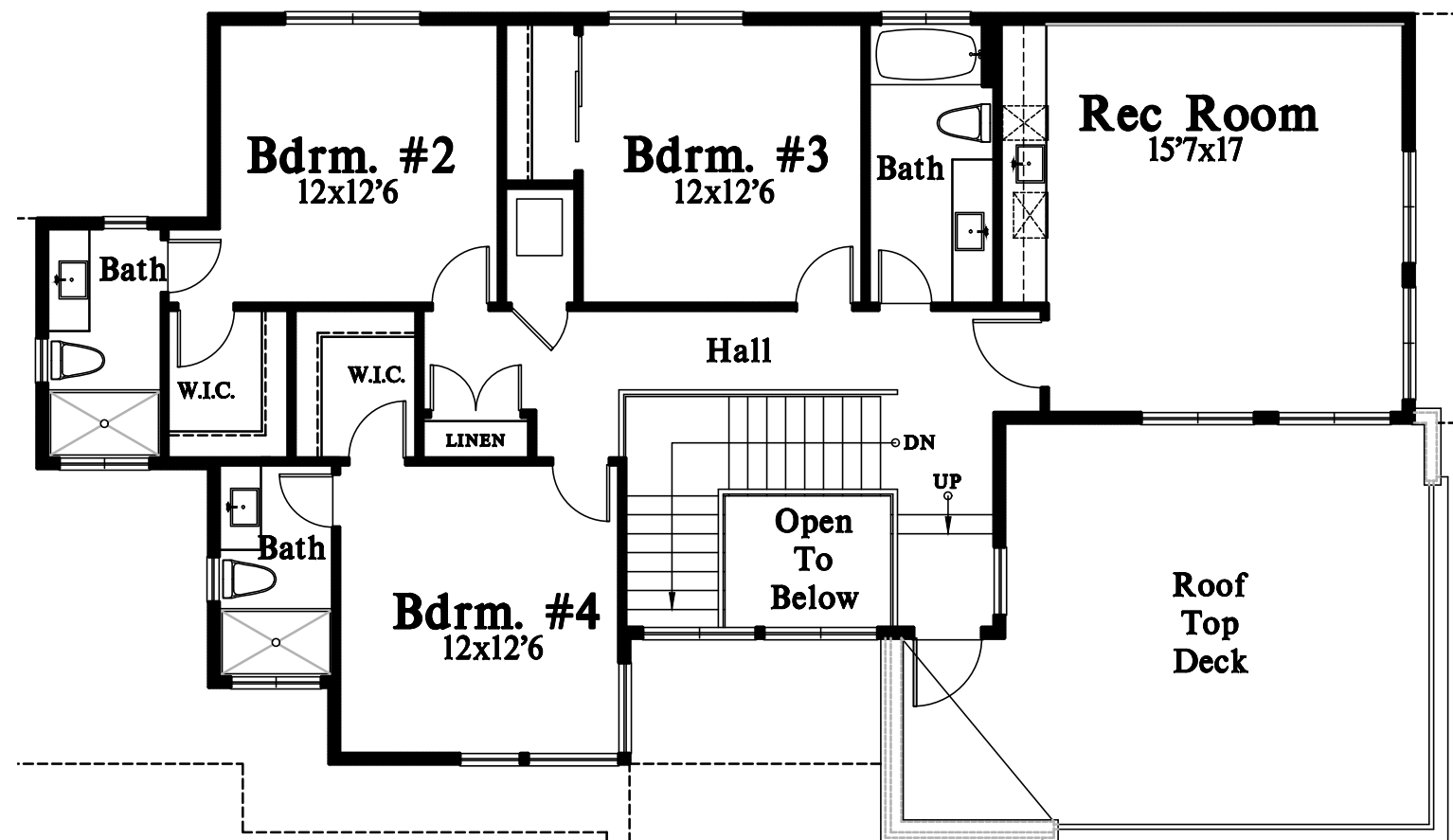
- A1. CODE NOTES
- A1.1. SITE PLAN & TREE RETENTION PLAN
- CV-01 COVER SHEET
- TP-01 TESC, DRAINAGE & TREE RETENTION
- TP-02 TESC NOTES & DETAILS
- TR-01 TREE RETENTION PLAN
- SP-01 SITE PLAN
- TG-01 TEMPORARY GRADING PLAN
- DT-01 SITE DETAILS SURVEY
- A2. LOWER FLOOR PLAN
- A3. MAIN FLOOR PLAN
- A4. UPPER FLOOR PLAN
- A5. ROOF PLAN
- A6. ELEVATIONS
- A7. ELEVATIONS/ENERGY
- A8. SECTIONS
- D1. DETAILS
- S-0.0 STRUCTURAL NOTES
- S-0.1 PIN PILE PLAN
- S-1.0 FOUNDATION PLAN
- S-1.1 MAIN FLOOR FRAMING
- S-2.0 UPPER FLOOR FRAMING
- S-3.0 ROOF FRAMING
- SD-1 FOUNDATION DETAILS
- SD-2 STRUCTURAL DETAILS
- SD-3 STRUCTURAL DETAILS
- SD-4 STRUCTURAL DETAILS

**SQUARE FOOTAGE**

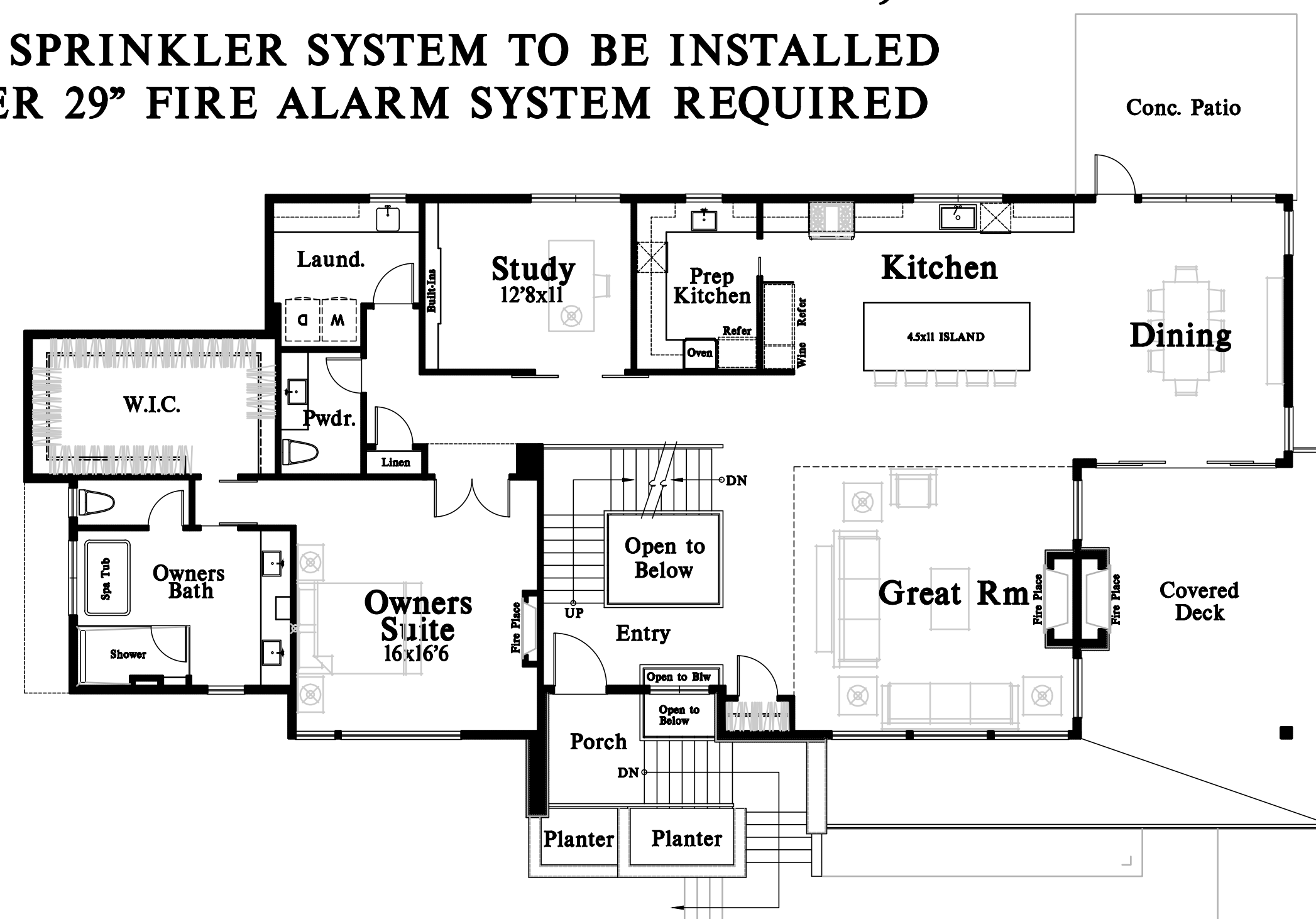
|              |                |
|--------------|----------------|
| MAIN FLOOR   | 2447 SF        |
| UPPER FLOOR  | 1327 SF        |
| LOWER        | 1312 SF        |
| <b>TOTAL</b> | <b>5086 SF</b> |
| GARAGE       | 897 SF         |
| PORCH/DECK   | 1409 SF        |



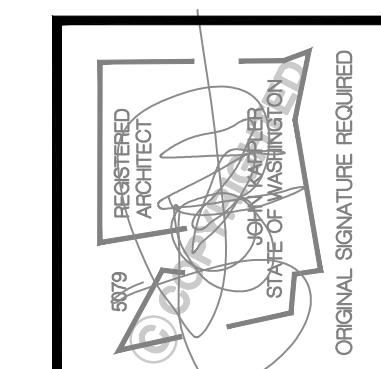
**Lower Floor Plan**



**Upper Floor Plan**



**Main Floor Plan**



| Date     | By  | Description                    |
|----------|-----|--------------------------------|
| 10/22/22 | REY | PERMIT SET                     |
| 8/17/23  | REY | JURISDICTIONAL COMMENTS        |
| 8/25/23  | REY | JURISDICTIONAL COMMENTS        |
| 10/5/23  | REY | JURISDICTIONAL COMMENTS        |
| 11/2/23  | REY | JURISDICTIONAL COMMENTS-CLOUED |

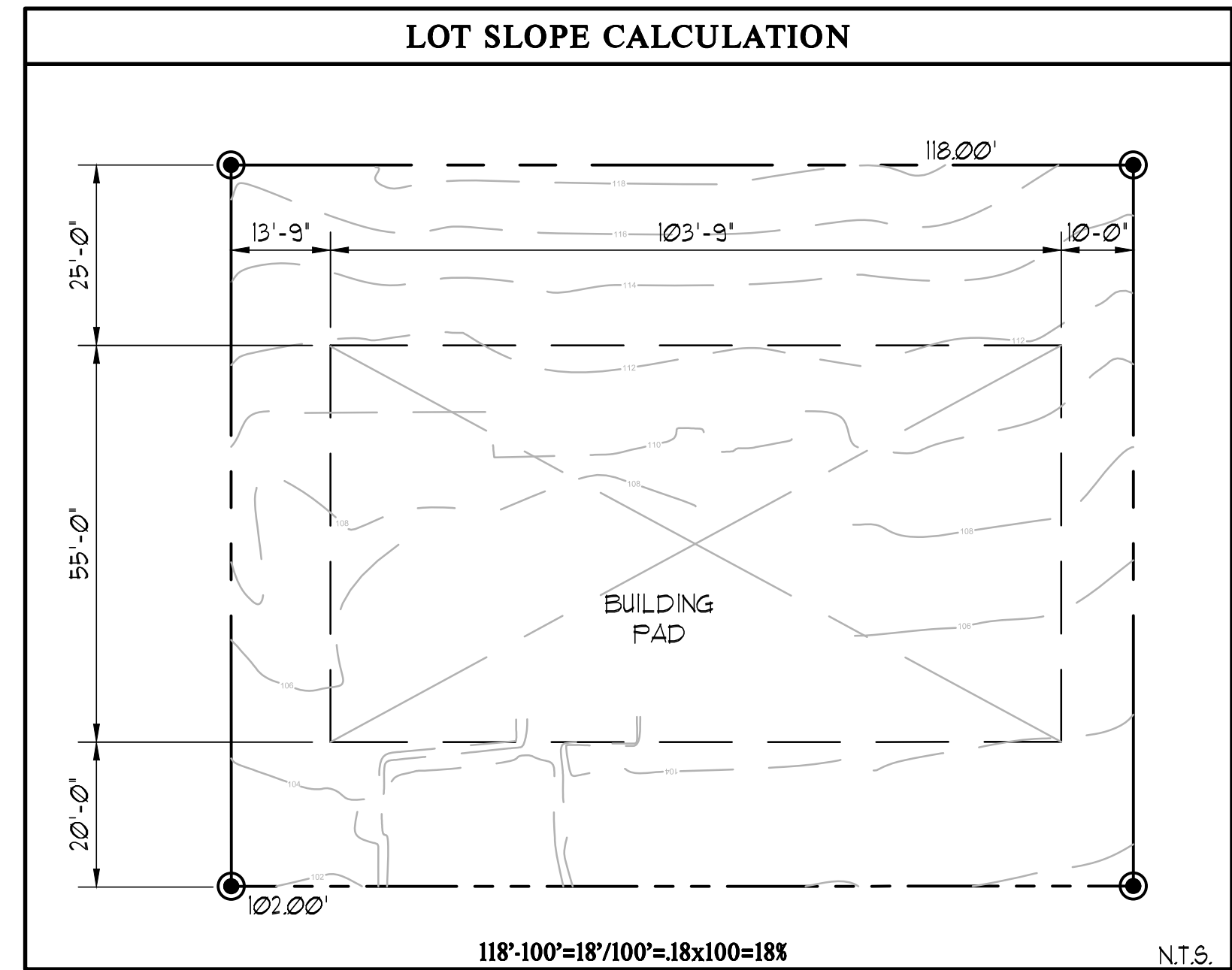
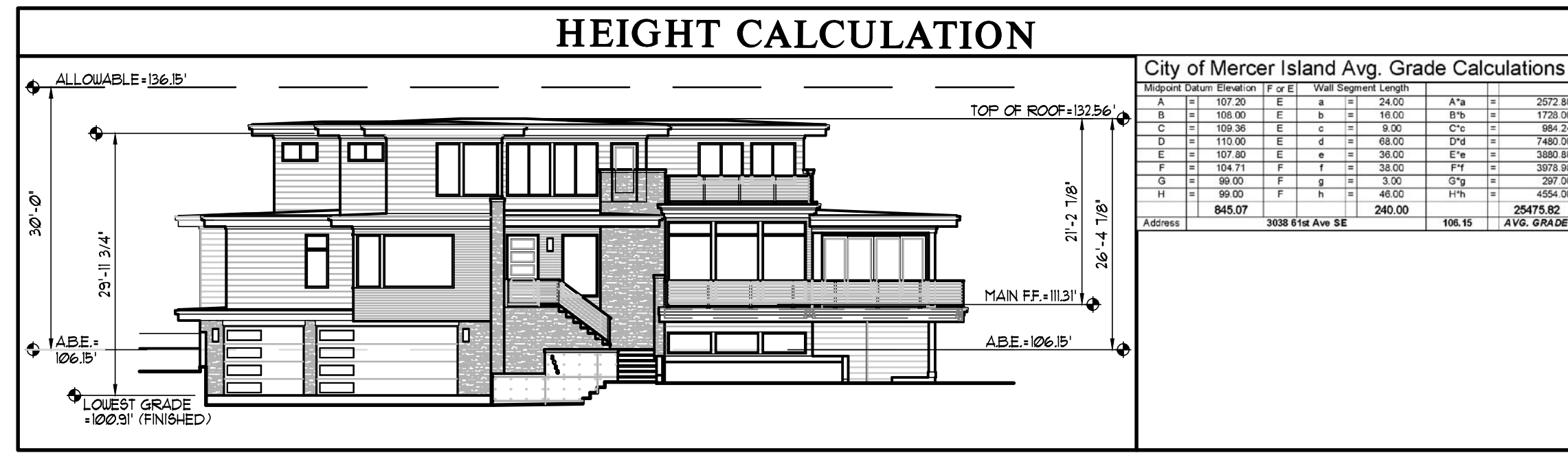
Buchan Homes  
**Westview Plan**  
Permit no. 2210-120  
Mercer Island, WA  
3036 67th Ave SE  
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Forward Thinking Design Solutions For Your Environment  
14311 SE 16<sup>th</sup> St  
Bellevue, WA 98007  
1-800-888-4517  
www.kapichangeplans.com

TITLE  
JOB NO.: 21076.21  
STARTING NO.: 21076.05

SHEET  
**COVER SHEET**





### TREE IDENTIFICATION

| TAG    | TREE/SPECIES                      | SIZE (DBH) | RETAINED |
|--------|-----------------------------------|------------|----------|
| 1.     | CEDRUS DOEDORA, DRODAR CEDAR      | 35.4       | NO       |
| 2.     | PSUDOTSUGA MENZIESII, DOUGLAS FIR | 29"        | YES      |
| 3.     | PSUDOTSUGA MENZIESII, DOUGLAS FIR | 35"        | YES      |
| 4.     | APPLE SPECIES                     | 9.2"       | NO       |
| 5.     | APPLE SPECIES                     | 12.9"      | NO       |
| 6.     | PRUNUS, CHERRY                    | 6.4"       | NO       |
| 7.     | PRUNUS, PLUM                      | 10.5"      | NO       |
| O.S.T. | CEDRUS ATLANTICA, ATLAS CEDAR     | est. 30"   | YES      |

**TOTAL DBH = 138.4"**  
**TOTAL RETAINED = 100.4"/46%**  
**NOTE: DBH DOES NOT INCLUDE OFF SITE TREE**

### REPLACEMENT TREE IDENT.

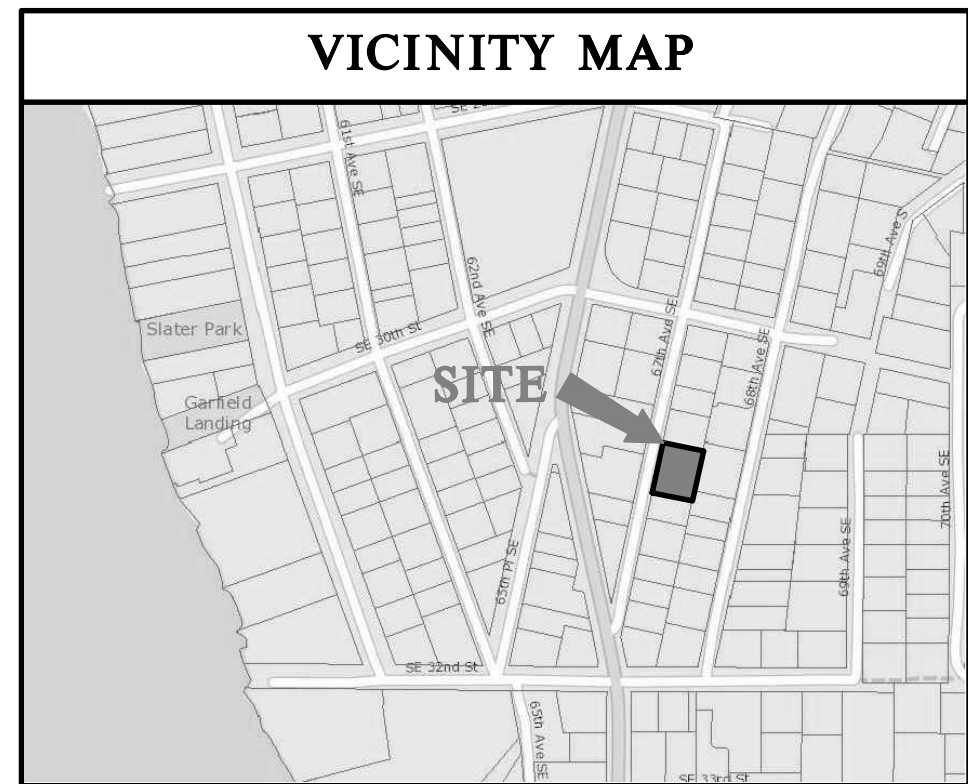
| TAG  | TREE/SPECIES                        | NATIVE |
|------|-------------------------------------|--------|
| R.1  | JAPANESE MAPLE                      | NO     |
| R.2  | WESTERN RED CEDAR                   | YES    |
| R.3  | VINE MAPLE                          | YES    |
| R.4  | VINE MAPLE                          | YES    |
| R.5  | VINE MAPLE                          | YES    |
| R.6  | VINE MAPLE                          | YES    |
| R.7  | VINE MAPLE                          | YES    |
| R.8  | NATIVE DOGWOOD, EDDIES WHITE WONDER | YES    |
| R.9  | RED MAPLE                           | NO     |
| R.10 | AMELANCHIER SERVICEBERRY            | YES    |

**9/10 NATIVE : 90% NATIVE**

### City of Mercer Island GFA Calculations

| Lower Level Area Calculation    | Lot Size = | 12,500 x 40% = | 5,000 S.F.    |
|---------------------------------|------------|----------------|---------------|
| Wall Length                     | Percentage | Finish of      | Result        |
| A 24                            | 77.0%      | E/F            | 18.5          |
| B 16                            | 96.0%      | F              | 15.4          |
| C 9                             | 100.0%     | E/F            | 9.0           |
| D 54                            | 100.0%     | E              | 54.0          |
| E 36                            | 26.0%      | F              | 9.4           |
| F 24                            | 59.0%      | E/F            | 14.2          |
| G 3                             | 0.0%       | E/F            | 0.0           |
| H 46                            | 0.0%       | F              | 0.0           |
| <b>Total Average Result 0.6</b> |            |                |               |
| Ftr                             | Sq Ft      | Result         | Excluded Area |
|                                 | 2443       | 0.5883962      | 1388.591981   |

| Main Floor                      | 2548 | (2504+44) AREA >16'  |
|---------------------------------|------|----------------------|
| Upper Floor                     | 1333 | (1407-74) STAIRS     |
| Lower Floor                     | 1087 | (2443-1356) EXCLUDED |
| <b>Total G.F.A. 4968 /39.7%</b> |      |                      |



### SITE INFO

**STREET ADDRESSES:**  
3036 67th AVE SE

**PARCEL #:**  
2174501025

**LEGAL DESCRIPTION:**  
EAST SEATTLE ADD LOTS 15 THRU 18 TGV SLY 5 FT OF LOT 19  
PLAT BLOCK: 6  
PLAT LOT: 15 THRU 19

### ZONING

**ZONING: R-84**  
**SINGLE FAMILY RESIDENTIAL SETBACKS**  
 FRONT YARD - 20'-0"  
 REAR YARD - 25'  
 TOTAL SIDE YARD(S) - 17% OF 120'-0" = 20.4' COMBINED  
 INTERIOR SIDE YARD - 33% OF 20.4' = 6.73' MIN.

**HEIGHT LIMIT**  
 30' ABOVE AVERAGE BUILDING ELEVATION  
 35' DOWNHILL HIGHEST PLATE FROM EXISTING GRADE

**LOT COVERAGE**  
 33% MAX OF GROSS LOT AREA  
 G.F.A.  
 40% MAX. OF NET LOT AREA

### SITE CALCULATIONS

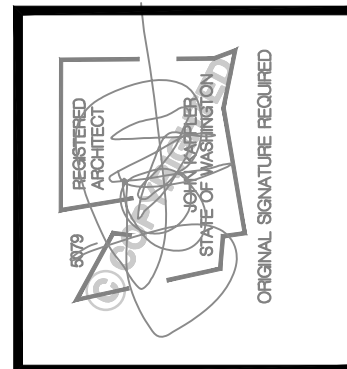
| LOT AREA                      | 12,500 SF   | GROSS LOT AREA               |
|-------------------------------|---|------------------------------|
| G.F.A. CALCULATION            | 12,500 SF   | GROSS LOT AREA               |
| x 40%                         | 5,000 SF  | ALLOWABLE G.F.A.             |
| 2,548 SF                      | MAIN FLOOR (see G.F.A. calculations below)            |                              |
| 1,333 SF                      | UPPER FLOOR (see G.F.A. calculations below)           |                              |
| 1,087 SF                      | LOWER FLOOR/GARAGE (see G.F.A. calculations below)    |                              |
| 4,968 SF/39.7%                | TOTAL G.F.A.  |                              |
| LOT COVERAGE CALCULATION      | 12,500 SF   | GROSS LOT AREA               |
| x 33%                         | 4,125 SF  | ALLOWABLE LOT COVERAGE       |
| 3,023 SF                      | STRUCTURE (including eaves)                           |                              |
| 344 SF                        | COVERED PATIO/DECKS (including eaves)                 |                              |
| 666 SF                        | DRIVEWAY (excluding portion under eaves)              |                              |
| 4,033 SF/32%                  | TOTAL LOT COVERAGE                                    |                              |
| HARDSCAPE SURFACE CALCULATION | 12,500 SF   | GROSS LOT AREA               |
| x .09%                        | 1,125 SF  | ALLOWABLE HARDSCAPE COVERAGE |
| 419 SF                        | FRONT WALKWAY AND STEPS(excluding portion under deck) |                              |
| 139 SF                        | REAR PATIO (excluding portion w/ eaves)               |                              |
| 175 SF                        | MAIN FLOOR DECK(excluding portion under eaves)        |                              |
| 35 SF                         | REAR RETAINING WALL                                   |                              |
| 41 SF                         | FRONT RETAINING WALLS                                 |                              |
| 809 SF/6.5%                   | TOTAL HARDSCAPE SURFACE AREA                          |                              |

### LEGEND

- - - - - DESIGNATES WATER
- - - - - DESIGNATES SEWER
- - - - - DESIGNATES STORM
- - - - - DESIGNATES EXISTING GRADE
- - - - - DESIGNATES FINISHED GRADE
- - - - - DESIGNATES TREE DRIPLINE
- - - - - DESIGNATES TREE FENCING
- - - - - DESIGNATES EXISTING WOOD FENCE
- - - - - EXISTING FENCE TO BE REMOVED

**DEMO EXISTING STRUCTURES AND HARDSCAPE**

**SEE ADDITIONAL STORM & UTILITY PLAN**



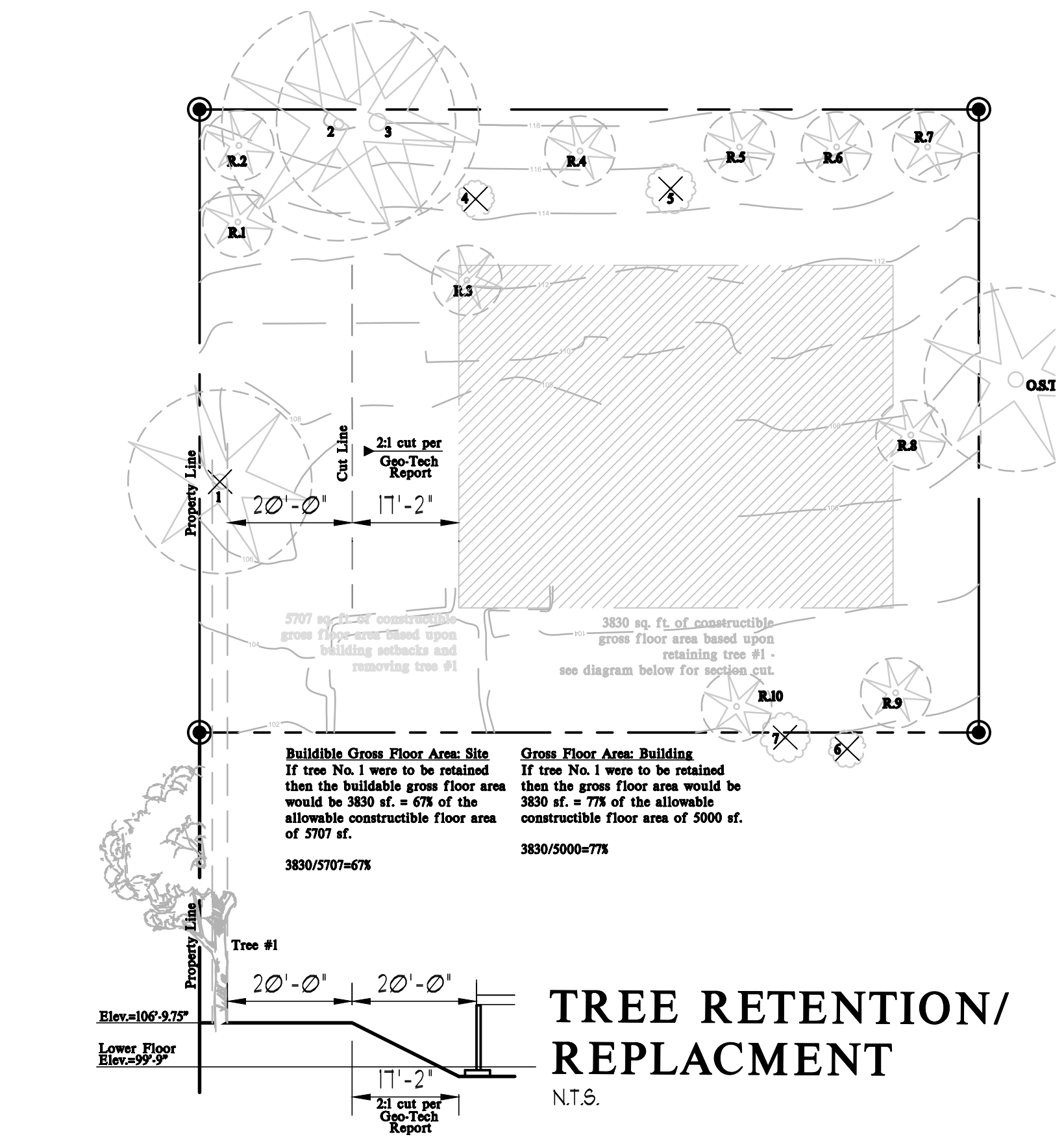
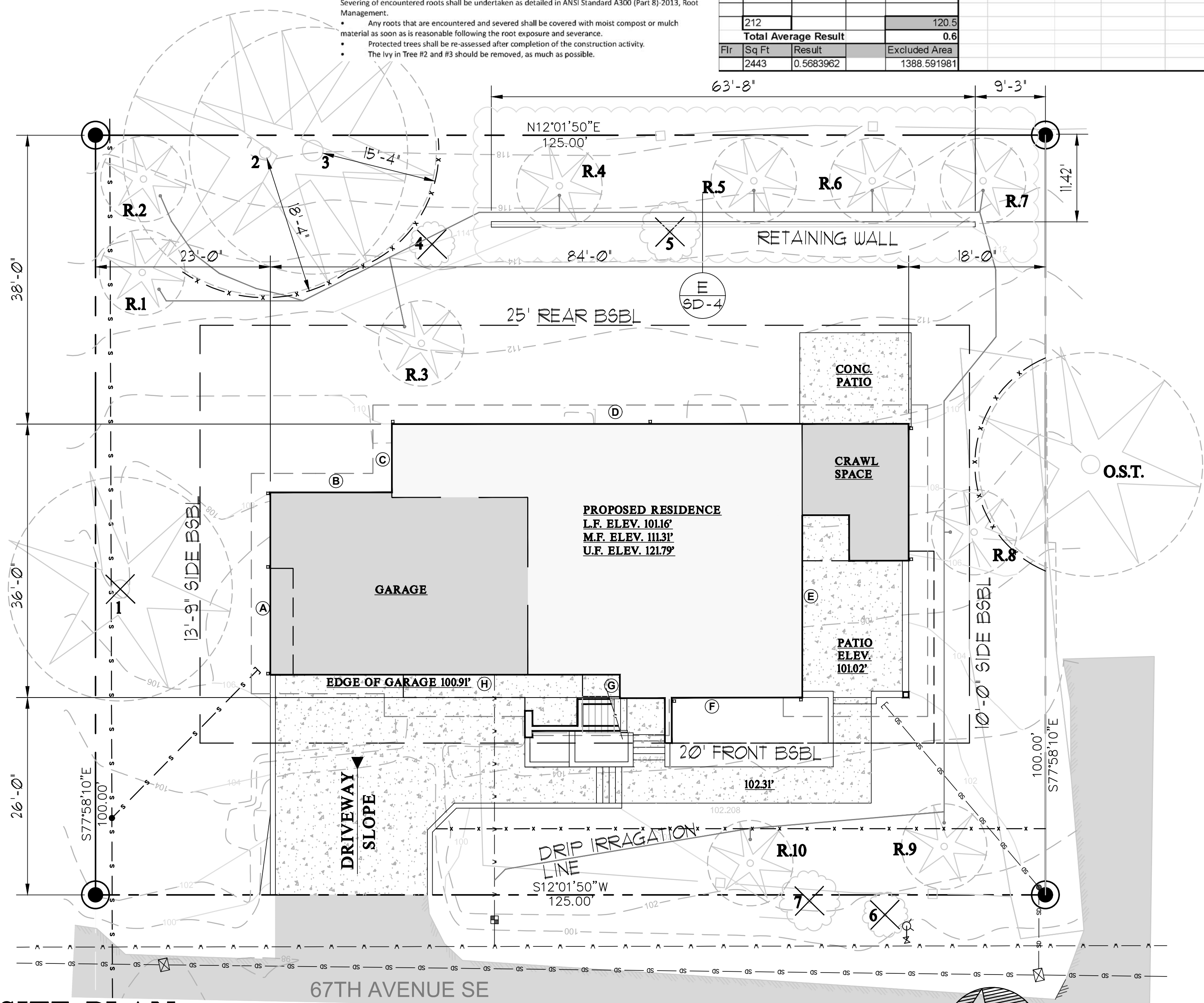
| Date     | By  | Description                    |
|----------|-----|--------------------------------|
| 8/26/22  | REV | UPDATED SITE PLAN              |
| 8/2/22   | REV | JURISDICTIONAL COMMENTS        |
| 8/25/23  | REV | JURISDICTIONAL COMMENTS        |
| 10/25/23 | REV | JURISDICTIONAL COMMENTS        |
| 3/4/24   | REV | JURISDICTIONAL COMMENTS-CLOSED |

**Buchan Homes**  
**Westview Plan**  
 Mercer Island, WA  
 3036 67th Ave SE  
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 www.kapplerhomeplans.com

TITLE: \_\_\_\_\_  
 JOB NO.: 21076.03  
 STARTING NO.: START

SHEET  
**A1.1**



**SITE PLAN, TREE RETENTION & REPLACEMENT**  
 Scale 1" = 10'

# 3036 67TH AVE SE MERCER ISLAND SITE PLAN

### LEGAL DESCRIPTION

LOTS 15, 16, 17, 18 AND THE SOUTHERLY 5 FEET OF LOT 19, BLOCK 6, EAST SEATTLE, ACCORDING TO THE PLAT THEREOF RECORDED IN VOLUME 3 OF PLATS, PAGES 22 AND 23, RECORDS OF KING COUNTY, WASHINGTON; EXCEPT THAT PORTION THEREOF LYING WITHIN MERCER ISLAND ROAD (67TH AVENUE SE)

SITUATE IN THE CITY OF MERCER ISLAND, COUNTY OF KING, STATE OF WASHINGTON.

### BASIS OF BEARING

RECORD OF SURVEY BY TERRANE FOR JAYMARC HOMES, RECORDED ON JULY 26, 2021, IN VOLUME 451 OF SURVEYS, PAGE 259, UNDER RECORDING NO. 20210726900027, RECORDS OF KING COUNTY, WASHINGTON.

### VERTICAL DATUM & CONTROL INTERVAL

ELEVATIONS SHOWN ON THIS DRAWING WERE DERIVED FROM INFORMATION PROVIDED BY THE CITY OF MERCER ISLAND.

THE MARK IS A MONUMENT IN CASE AT THE INTERSECTION OF 68TH AVENUE SE W AND SE 32ND STREET.

POINT ID NO. 47746;  
ELEVATION: 112.571 FEET - NAVD 88

2.0' CONTOUR INTERVAL - THE EXPECTED VERTICAL ACCURACY IS EQUAL TO 1/2 THE CONTOUR INTERVAL OR PLUS / MINUS 1.0' FOR THIS PROJECT.

### SURVEY NOTES

- THIS SURVEY WAS COMPLETED WITHOUT BENEFIT OF A CURRENT TITLE REPORT. EASEMENTS AND OTHER ENCUMBRANCES MAY EXIST ON THIS PROPERTY THAT ARE NOT SHOWN HEREON.
- INSTRUMENTATION FOR THIS SURVEY WAS A 3-SECOND SPECTRAPRECISION FOCUS 35 TOTAL STATION. PROCEDURES USED IN THIS SURVEY MEET OR EXCEED STANDARDS SET BY WAC 332-130-090.
- THE INFORMATION ON THIS MAP REPRESENTS THE RESULTS OF A SURVEY MADE IN AUGUST 2021 AND CAN ONLY BE CONSIDERED AS INDICATING THE GENERAL CONDITIONS EXISTING AT THAT TIME.
- UTILITIES SHOWN ON THIS SURVEY ARE BASED UPON ABOVE GROUND OBSERVATIONS AND AS-BUILT PLANS WHERE AVAILABLE. ACTUAL LOCATIONS OF UNDERGROUND UTILITIES MAY VARY AND UTILITIES NOT SHOWN ON THIS SURVEY MAY EXIST ON THIS SITE.
- ALL MONUMENTS WERE LOCATED DURING THIS SURVEY UNLESS OTHERWISE NOTED.

### SITE DATA

HIGHEST ELEVATION OF LOT: 118.25  
 LOWEST ELEVATION OF LOT: 98.66  
 LOT SLOPE: 19.3%  
 TOTAL SITE AREA: 12,500 SF  
 ALLOWED LOT COVERAGE: 40%  
 PROPOSED LOT COVERAGE: 3,899 SF (31.2%)  
 PROPOSED HARDSCAPE: 581 SF (4.6%)  
 PROJECT IMPERVIOUS AREA: 4,480 SF (35.8%)  
 \* LOT COVERAGE INCLUDES THE COMBINATION OF BUILDINGS, INCLUDING EAVES AND ROOF OVERHANGS, AND VEHICULAR DRIVING SURFACES AS DEFINED PER MIMC 19.16.010

### OWNER / ARCHITECT

WILLIAM E. BUCHAN INC.  
2630 116 AVE NE #100  
BELLEVUE, WA 98004  
(425) 831-5503  
CONTACT: DAVID STAVE

### ENGINEER

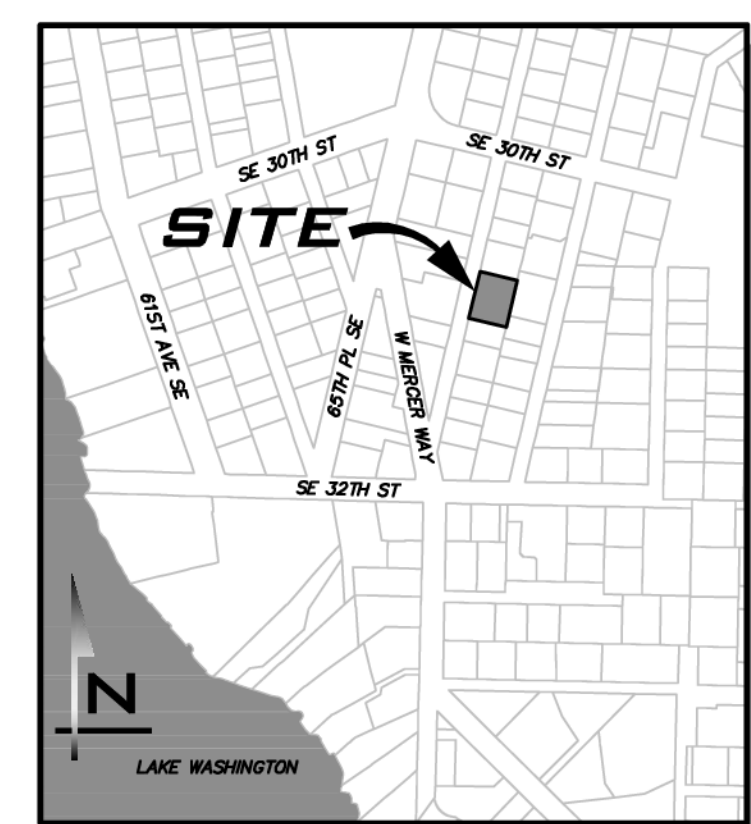
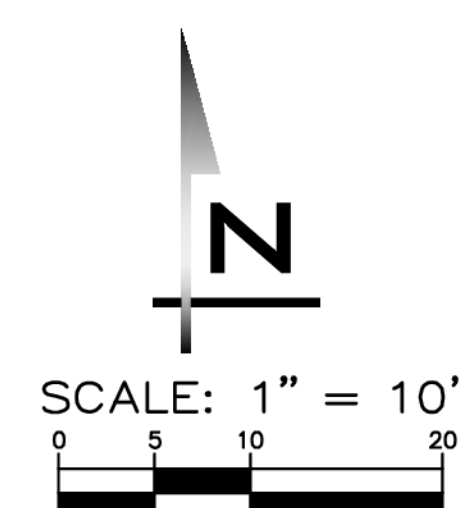
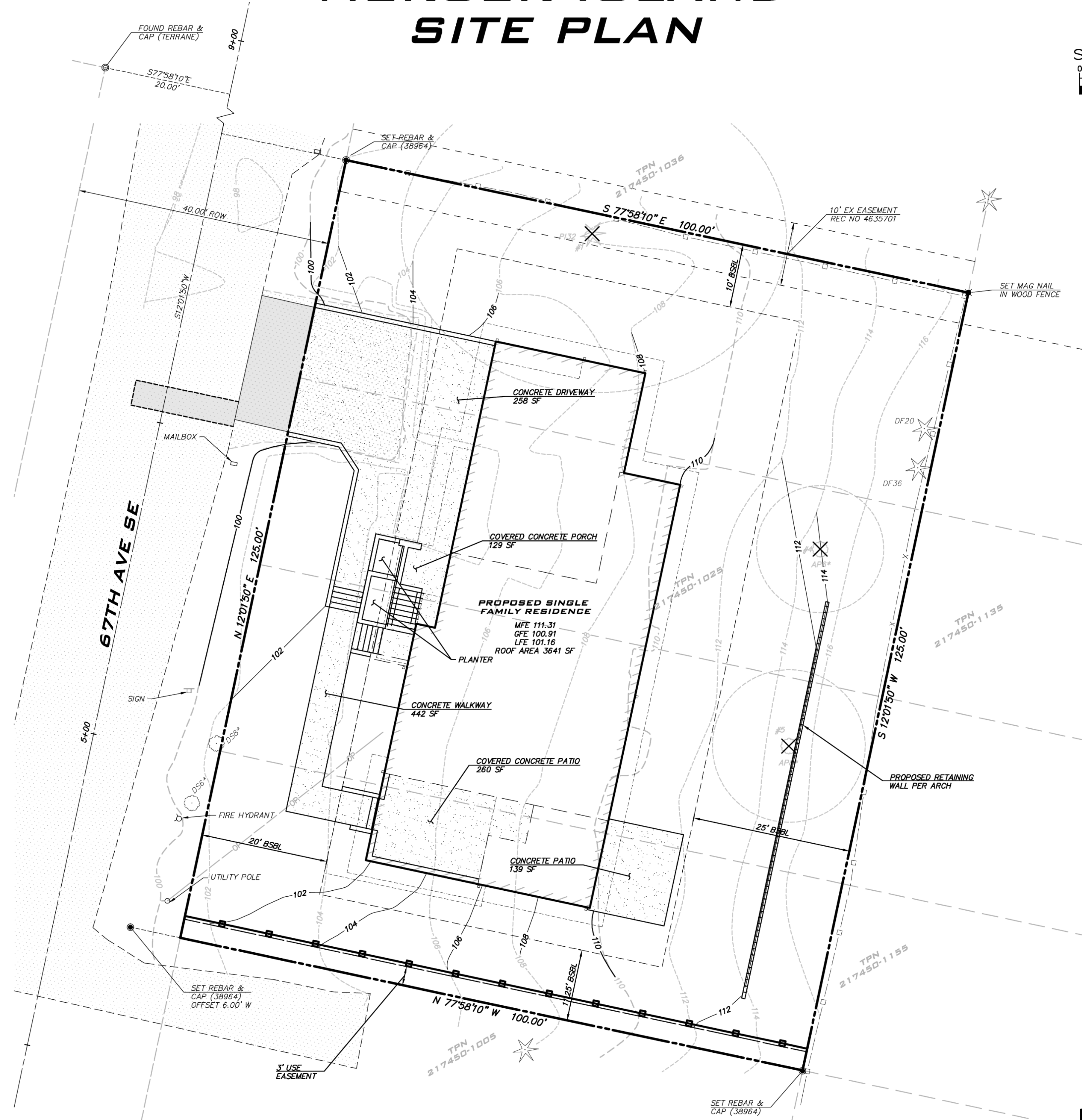
THE BLUELINE GROUP  
25 CENTRAL WAY, SUITE 400  
KIRKLAND, WA 98033  
(425) 250-7262  
CONTACT: YANNICK METS, PE

### GEOTECH ENGINEER

TERRA ASSOCIATES, INC  
12220 113TH AVE NE, SUITE 130  
KIRKLAND, WA 98034  
(425) 821-7777  
CONTACT: CAROLYN S. DECKER, PE

### SHEET INDEX

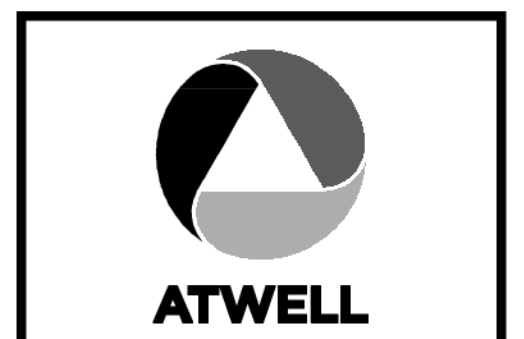
- CV-01 COVER SHEET
- TP-01 TESC PLAN
- TP-02 TESC DETAILS
- TR-01 TREE RETENTION PLAN
- SP-01 SIDE SEWER PROFILE
- TG-01 TEMPORARY GRADING PLAN
- DT-01 DETAILS
- DT-02 DETAILS



| LEGEND                         |   |
|--------------------------------|---|
| <b>PROPOSED FEATURES</b>       |   |
| BOUNDARY                       | MAILBOX                                 |
| RIGHT-OF-WAY                   | ASPHALT PAVEMENT                        |
| LOT LINE                       | CONCRETE                                |
| SIDEWALK                       |   |
| CENTER LINE                    |   |
| SAWTOOTH                       |   |
| BUILDING FOOTPRINT             |   |
| BUILDING OVERHANG              |   |
| BUILDING ROOFLINE              |   |
| BUILDING SETBACK (BSBL)        |   |
| 190' 10' PROPOSED CONTOURS     |   |
| 192' 2' PROPOSED CONTOURS      |   |
| <b>PROPOSED STORM DRAINAGE</b> |   |
| STORM DRAIN PIPE               | TYPE I CB - STANDARD GRADE              |
| ROOF & FOOTING DRAIN           | TYPE I CB - LOCKING LID                 |
| SWALE OR DITCH                 | STORM CLEANOUT                          |
| SURFACE FLOW                   | YARD DRAIN                              |
| <b>EXISTING FEATURES</b>       |   |
| ADJACENT PLAT/PARCEL LINE      | POWER VAULT                             |
| ADJACENT RIGHT-OF-WAY          | POWER METER                             |
| CENTERLINE                     | MAIL BOX                                |
| EASEMENT                       |   |
| SURFACE FEATURES               |   |
| BUILDING FOOTPRINT             |   |
| 190' 10' CONTOURS              | EXISTING CONIFEROUS TREE                |
| 192' 2' CONTOURS               | EXISTING DECIDUOUS TREE                 |
| SD STORM DRAIN PIPE            | DRIP LINE                               |
| SS SEWER MAIN                  | CONIFEROUS TREE TO BE SAVED             |
| W WATER MAIN                   | DECIDUOUS TREE TO BE SAVED              |
| OHP AERIAL POWER LINE          | EXISTING CONIFEROUS TREE TO BE REMOVED  |
| G GAS MAIN                     | EXISTING DECIDUOUS TREE TO BE REMOVED   |
| X WIRE FENCE                   | ASPHALT                                 |
| BOARD FENCE                    | CONCRETE                                |
| RETAINING WALL                 | GRAVEL                                  |
| ROCKERY                        |   |
| CATCH BASIN, TYPE I            |   |
| CATCH BASIN, TYPE II           |   |
| SD PIPE FLOW                   |   |
| SEWER MANHOLE                  |   |
| SS PIPE FLOW                   |   |
| FIRE HYDRANT                   |   |
| WATER METER                    |   |
| GATE VALVE                     |   |
| POWER POLE                     |   |
| GUY ANCHOR                     |   |
| STREET LIGHT                   |   |
| <b>TESC FEATURES</b>           |   |
| FILTER FENCE                   | PIPE FLOW                               |
| CONSTRUCTION FENCE             | INTERIM CATCH BASIN PROTECTION (INSERT) |
| CLEARED AREA                   |   |
| LIMITS OF CLEARING             |   |

**EXISTING UTILITY NOTE**  
 EXISTING UTILITIES ARE SHOWN IN THE APPROXIMATE LOCATION. THERE IS NO GUARANTEE THAT ALL UTILITY LINES ARE SHOWN, OR THAT THE LOCATION, SIZE AND MATERIAL IS ACCURATE. THE CONTRACTOR SHALL UNCOVER ALL INDICATED PIPING WHERE CROSSING, INTERFERENCES, OR CONNECTIONS OCCUR PRIOR TO TRENCHING OR EXCAVATION FOR ANY PIPE OR STRUCTURES, TO DETERMINE ACTUAL LOCATIONS, SIZE AND MATERIAL. THE CONTRACTOR SHALL MAKE THE APPROPRIATE PROVISION FOR PROTECTION OF SAID FACILITIES. THE CONTRACTOR SHALL NOTIFY ONE CALL AT 8-1-1 (WASHINGTON811.COM) AND ARRANGE FOR FIELD LOCATION OF EXISTING FACILITIES BEFORE CONSTRUCTION.

**BUILDING CALCULATIONS**  
 SEE ARCHITECTURAL SITE PLAN FOR TREE RETENTION, BUILDING HEIGHTS AND FAR CALCULATIONS.



25 CENTRAL WAY, SUITE 400,  
KIRKLAND, WA 98033  
P: 425.216.4051 F: 425.216.4052  
WWW.ATWELL-GROUP.COM

SCALE:  
AS NOTED  
 PROJECT MANAGER:  
YANNICK METS, PE  
 PROJECT ENGINEER:  
AU RAMEZANI, PE  
 DESIGNER:  
CHRISTOPHER WSCOMB  
 ISSUE DATE:  
11/20/2023

| NO | DATE | BY | REVISIONS |
|----|------|----|-----------|
|    |      |    |           |
|    |      |    |           |
|    |      |    |           |
|    |      |    |           |

COVER SHEET  
**3036 67TH AVENUE SE**  
 SITE PLAN  
 PARCEL 2174501025  
 CITY OF MERCER ISLAND WASHINGTON



11/20/23  
 JOB NUMBER:  
**22-042**  
 SHEET NAME:  
**CV-01**  
 SHT **1** OF **9**



25 CENTRAL WAY, SUITE 400,  
KIRKLAND, WA 98033  
P: 425.216.4051 F: 425.216.4052  
WWW.ATWELL-GROUP.COM

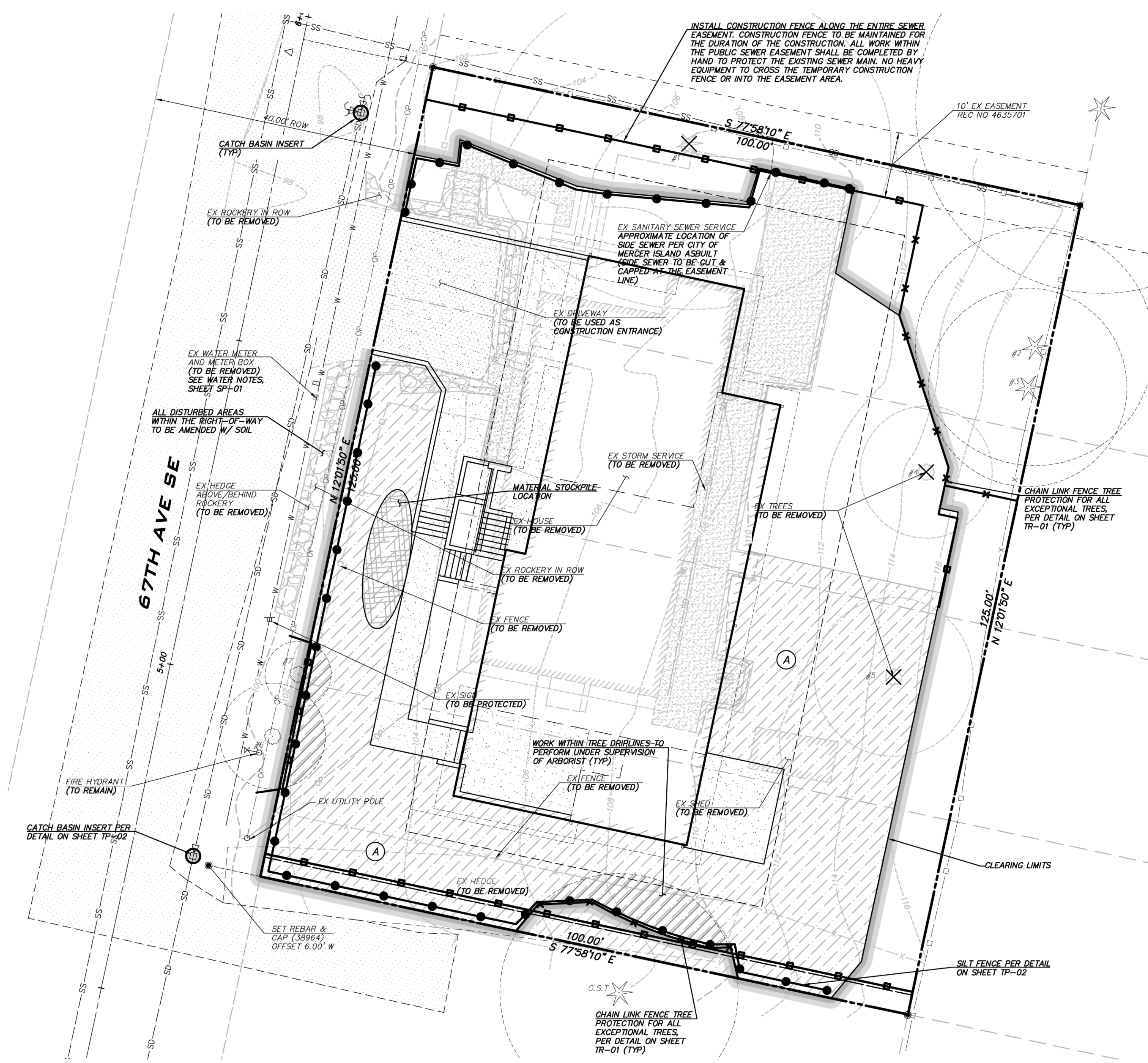
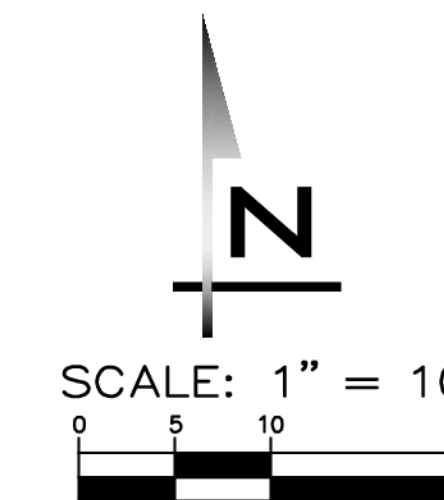
SCALE:  
AS NOTED

PROJECT MANAGER:  
YANNICK METS, PE

PROJECT ENGINEER:  
ALI RAMEZANI, PE

DESIGNER:  
CHRISTOPHER WSCOMB

ISSUE DATE:  
11/20/2023



**NOTE**  
CATCH BASIN INLET PROTECTION TO BE INSTALLED UP TO 250' DOWNSTREAM OF THE PROJECT SITE.

**SOIL AMENDMENT LEGEND**  
 NEW TURF AREA REQUIRING AMENDMENT (3,602 SF)

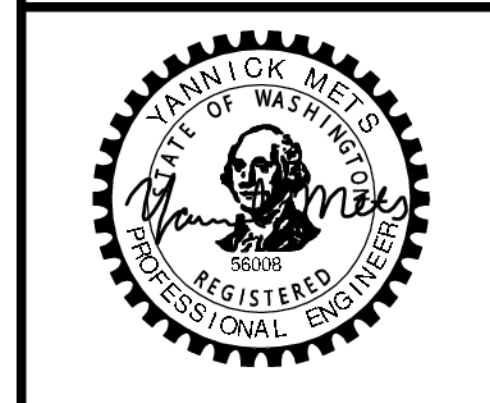
**POST-CONSTRUCTION SOIL MANAGEMENT NOTES**  
 AMEND SOILS WITH COMPOST PER PRE-APPROVED AMENDMENT METHOD  
 SCARIFY EXISTING SOILS TO DEPTH OF 8 INCHES  
 REFER TO CITY OF MERCER ISLAND SECTION D: POST-CONSTRUCTION SOIL MANAGEMENT FORM UNDER SEPARATE COVER FOR CALCULATED AMENDMENT QUANTITIES.

**NOTE**  
EXISTING WATER METER TO BE ABANDONED.

**EXISTING UTILITY NOTE**  
 EXISTING UTILITIES ARE SHOWN IN THE APPROXIMATE LOCATION. THERE IS NO GUARANTEE THAT ALL UTILITY LINES ARE SHOWN, OR THAT THE LOCATION, SIZE AND MATERIAL IS ACCURATE. THE CONTRACTOR SHALL UNCOVER ALL INDICATED PIPING WHERE CROSSING, INTERFERENCES, OR CONNECTIONS OCCUR PRIOR TO TRENCHING OR EXCAVATION FOR ANY PIPE OR STRUCTURES, TO DETERMINE ACTUAL LOCATIONS, SIZE AND MATERIAL. THE CONTRACTOR SHALL MAKE THE APPROPRIATE PROVISION FOR PROTECTION OF SAID FACILITIES. THE CONTRACTOR SHALL NOTIFY ONE CALL AT 8-1-1 (WASHINGTON811.COM) AND ARRANGE FOR FIELD LOCATION OF EXISTING FACILITIES BEFORE CONSTRUCTION.

| NO | DATE | BY | REVISIONS |
|----|------|----|-----------|
|    |      |    |           |
|    |      |    |           |
|    |      |    |           |
|    |      |    |           |

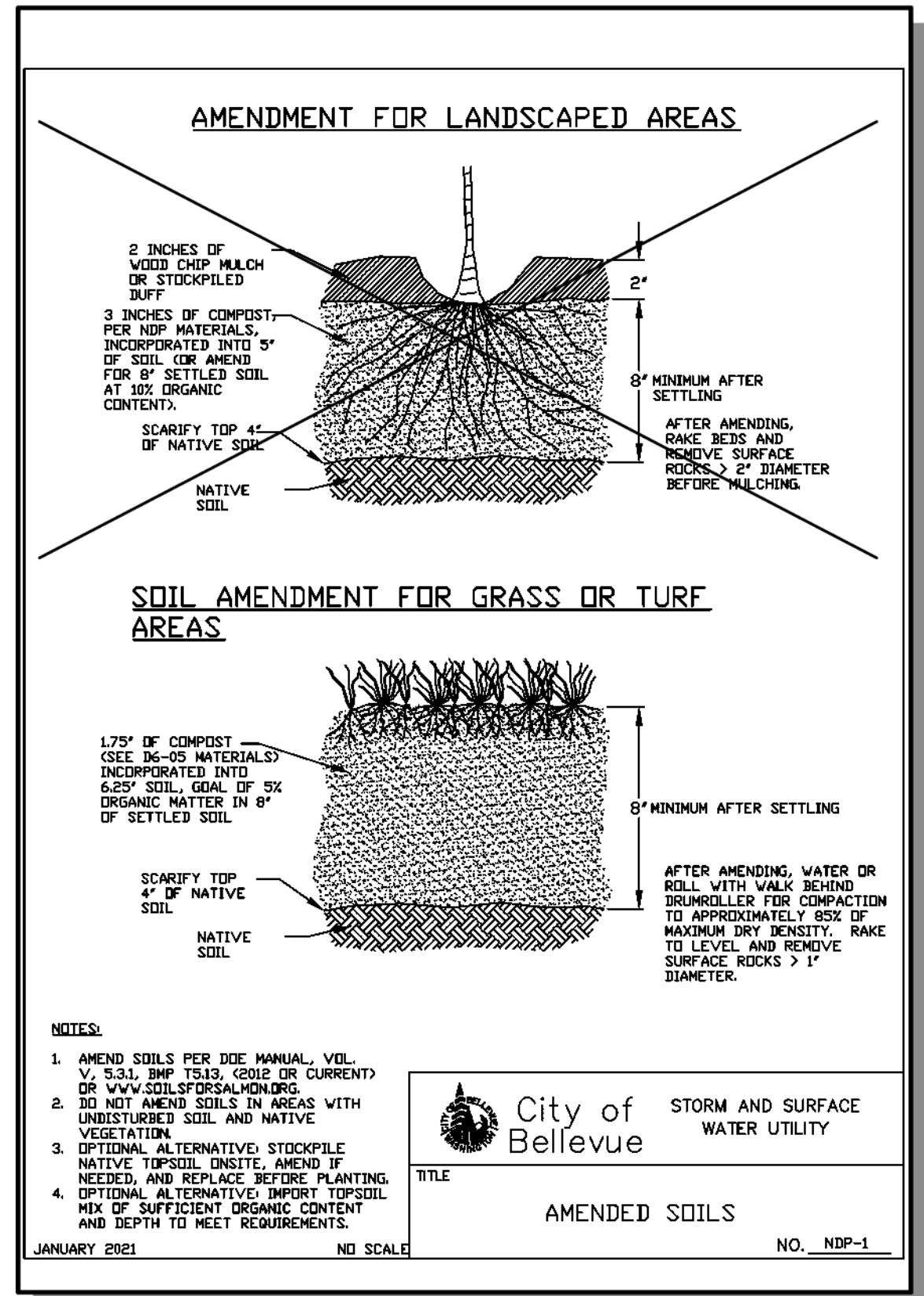
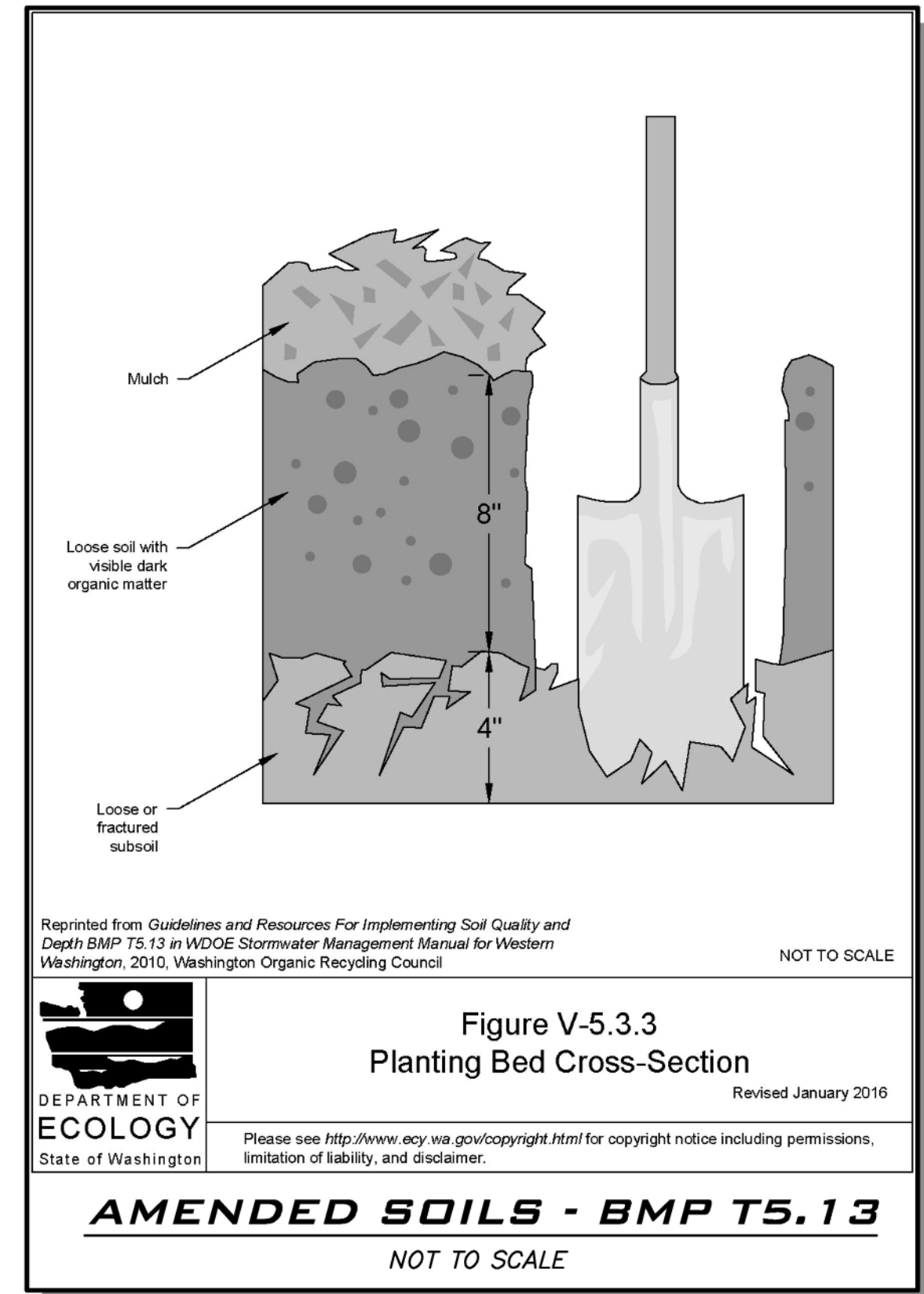
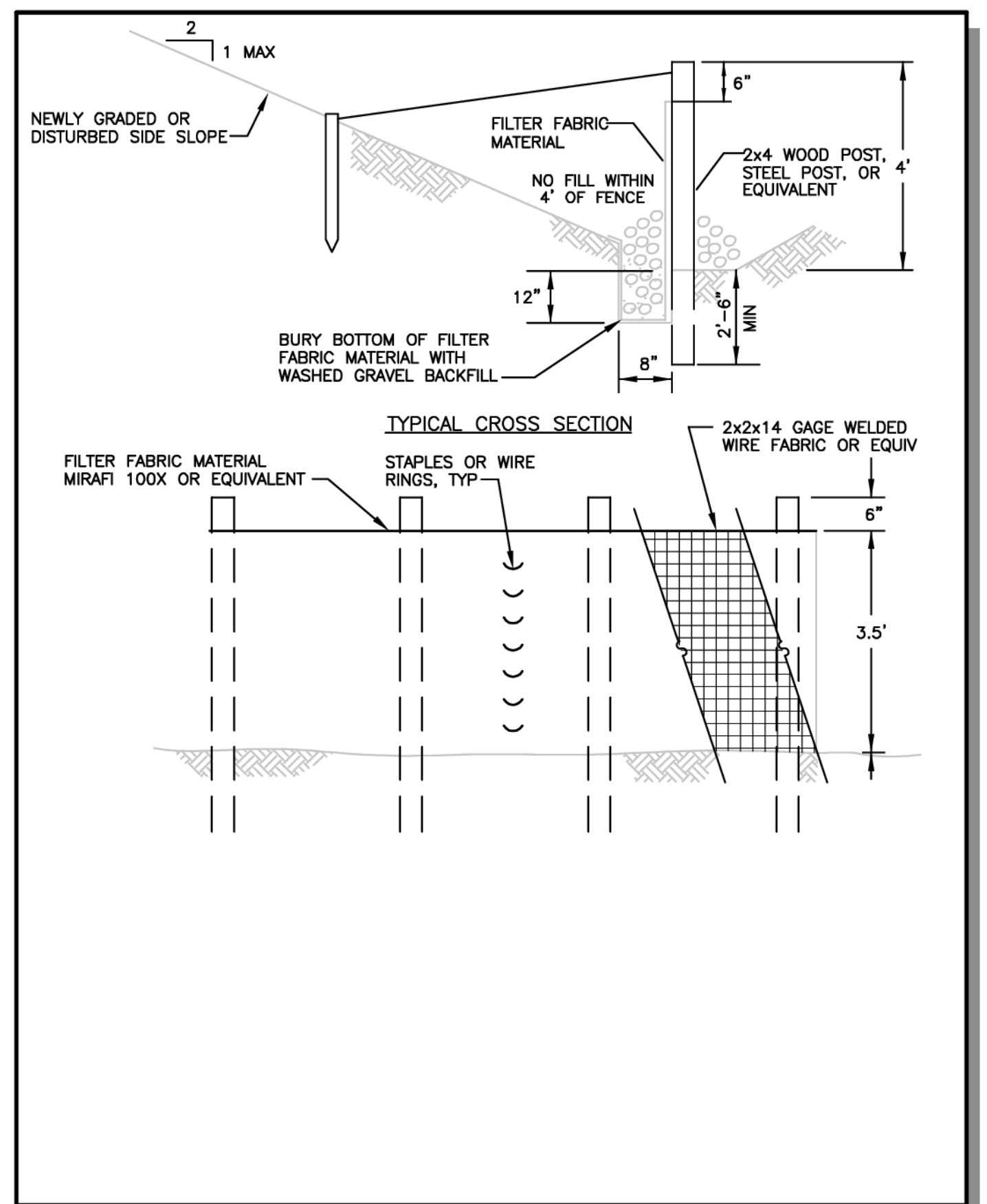
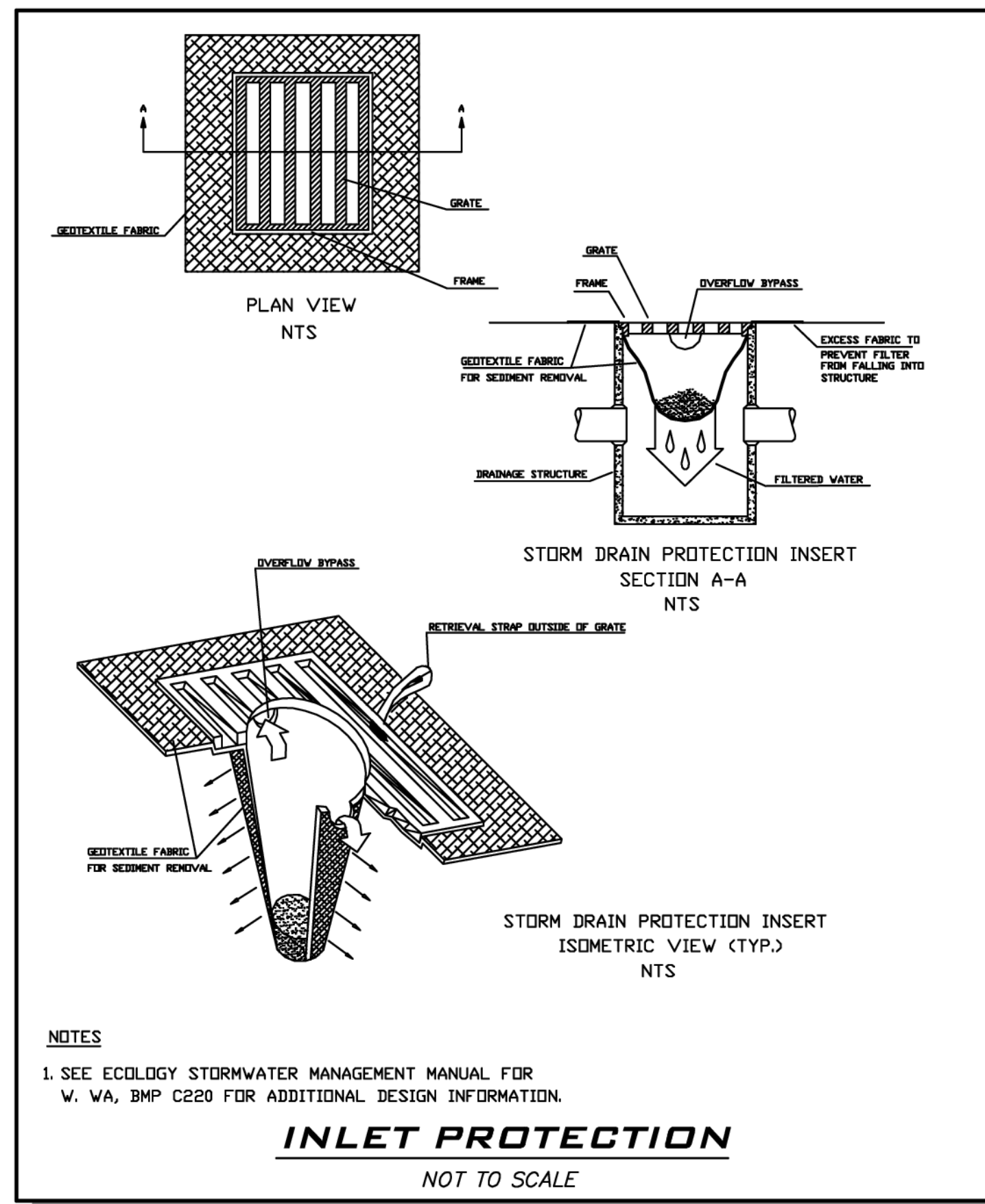
**TESC PLAN**  
**3036 67TH AVENUE SE**  
**SITE PLAN**  
 PARCEL 2174501025  
 CITY OF MERCER ISLAND WASHINGTON



11/20/23  
 JOB NUMBER:  
**22-042**  
 SHEET NAME:  
**TP-01**

**TESC - PLAN NOTES**

- THE APPROVED CONSTRUCTION SEQUENCE SHALL BE AS FOLLOWS:
  - CONDUCT PRE-CONSTRUCTION MEETING.
  - FLAG OR FENCE CLEARING LIMITS.
  - POST SIGN WITH NAME AND PHONE NUMBER OF TESC SUPERVISOR.
  - INSTALL CATCH BASIN PROTECTION IF REQUIRED.
  - GRADE AND INSTALL CONSTRUCTION ENTRANCE(S).
  - INSTALL PERIMETER PROTECTION (SILT FENCE, BRUSH BARRIER, ETC.).
  - CONSTRUCT SEDIMENT PONDS AND TRAPS.
  - GRADE AND STABILIZE CONSTRUCTION ROADS.
  - CONSTRUCT SURFACE WATER CONTROLS (INTERCEPTOR DIKES, PIPE SLOPE DRAINS, ETC.) SIMULTANEOUSLY WITH CLEARING AND GRADING FOR PROJECT DEVELOPMENT.
  - MAINTAIN EROSION CONTROL MEASURE IN ACCORDANCE WITH CITY OF MERCER ISLAND STANDARDS AND MANUFACTURER'S RECOMMENDATIONS.
  - RELOCATE EROSION CONTROL MEASURES OR INSTALL NEW MEASURES SO THAT AS SITE CONDITIONS CHANGE, THE EROSION AND SEDIMENT CONTROL IS ALWAYS IN ACCORDANCE WITH THE CITY TESC MINIMUM REQUIREMENTS.
  - COVER ALL AREAS WITHIN THE SPECIFIED TIME FRAME WITH STRAW, WOOD FIBER MULCH, COMPOST, PLASTIC SHEETING, CRUSHED ROCK OR EQUIVALENT.
  - STABILIZE ALL AREAS THAT REACH FINAL GRADE WITHIN 7 DAYS.
  - SEED OR SOO ANY AREAS TO REMAIN UNWORKED FOR MORE THAN 30 DAYS.
  - UPON COMPLETION OF THE PROJECT, ALL DISTURBED AREAS MUST BE STABILIZED AND BEST MANAGEMENT PRACTICES REMOVED IF APPROPRIATE.
- APPROVAL OF THIS EROSION/SEDIMENTATION CONTROL (ESC) PLAN DOES NOT CONSTITUTE AN APPROVAL OF PERMANENT ROAD OR DRAINAGE DESIGN (E.G., SIZE AND LOCATION OF ROADS, PIPES, RESTRICTORS, CHANNELS, RETENTION FACILITIES, UTILITIES, ETC.).
- THE IMPLEMENTATION OF THIS ESC PLAN AND THE CONSTRUCTION, MAINTENANCE, REPLACEMENT, AND UPGRADING OF THESE ESC FACILITIES IS THE RESPONSIBILITY OF THE PERMITTEE/CONTRACTOR UNTIL ALL CONSTRUCTION IS APPROVED.
- THE BOUNDARIES OF THE CLEARING LIMITS SHOWN ON THIS PLAN SHALL BE SET BY SURVEY AND CLEARLY FLAGGED IN THE FIELD BY A CLEARING CONTROL FENCE PRIOR TO CONSTRUCTION. DURING THE CONSTRUCTION PERIOD, NO DISTURBANCE OR REMOVAL OF ANY GROUND COVER BEYOND THE FLAGGED CLEARING LIMITS SHALL BE PERMITTED. THE FLAGGING SHALL BE MAINTAINED BY THE PERMITTEE/CONTRACTOR FOR THE DURATION OF CONSTRUCTION.
- THE TESC FACILITIES SHOWN ON THIS PLAN MUST BE CONSTRUCTED PRIOR TO OR IN CONJUNCTION WITH CLEARING AND GRADING ACTIVITIES IN SUCH A MANNER AS TO ENSURE THAT ADDITIONAL TEMPORARY SILTATION PONDING AND ALL TEMPORARY SILTATION CONTROLS SHALL BE MAINTAINED IN A SATISFACTORY CONDITION UNTIL SUCH TIME THAT CLEARING AND/OR CONSTRUCTION IS COMPLETED, PERMANENT DRAINAGE FACILITIES ARE OPERATIONAL, AND THE POTENTIAL FOR EROSION HAS PASSED. WRITTEN RECORDS SHALL BE KEPT DOCUMENTING THE REVIEWS OF THE ESC FACILITIES.
- THE ESC FACILITIES ON INACTIVE SITES SHALL BE INSPECTED AND MAINTAINED A MINIMUM OF ONCE A MONTH OR WITHIN 48 HOURS FOLLOWING A STORM EVENT.
- ALL DENUDE SOILS MUST BE STABILIZED WITH AN APPROVED TESC METHOD (E.G. SEEDING, MULCHING, PLASTIC COVERING, CRUSHED ROCK) WITHIN THE FOLLOWING TIMELINES:
  - APRIL 1 TO OCTOBER 31 - SOILS MUST BE STABILIZED WITHIN 7 DAYS OF GRADING.
  - NOVEMBER 1 TO MARCH 31 - SOILS MUST BE STABILIZED WITHIN 2 DAYS OF GRADING.
  - AT NO TIME SHALL MORE THAN 1" OF SEDIMENT BE ALLOWED TO ACCUMULATE WITHIN A CATCH BASIN. ALL CATCH BASINS AND CONVEYANCE LINES SHALL BE CLEANED PRIOR TO PAVING. THE CLEANING OPERATION SHALL NOT FLUSH SEDIMENT-LADEN WATER INTO THE DOWNSTREAM SYSTEM.
- STABILIZED CONSTRUCTION ENTRANCES SHALL BE INSTALLED AT THE BEGINNING OF CONSTRUCTION AND MAINTAINED FOR THE DURATION OF THE PROJECT. ADDITIONAL MEASURES, SUCH AS WASH PADS, MAY BE REQUIRED TO ENSURE THAT ALL PAVED AREAS ARE KEPT CLEAN FOR THE DURATION OF THE PROJECT.
- ANY PERMANENT RETENTION/DETENTION FACILITY USED AS A TEMPORARY SETTLING BASIN SHALL BE MODIFIED WITH THE NECESSARY EROSION CONTROL MEASURES AND SHALL PROVIDE ADEQUATE STORAGE CAPACITY. IF THE PERMANENT FACILITY IS TO FUNCTION ULTIMATELY AS AN INFILTRATION OR DISPERSION SYSTEM, THE FACILITY SHALL NOT BE USED AS A TEMPORARY SETTLING BASIN. NO UNDERGROUND DETENTION TANK, DETENTION VAULT, OR SYSTEM WHICH BACKS UNDER OR INTO A POND SHALL BE USED AS A TEMPORARY SETTLING BASIN.
- WHERE SEEDING FOR TEMPORARY EROSION CONTROL IS REQUIRED, FAST GERMINATING GRASSES SHALL BE APPLIED AT AN APPROPRIATE RATE (EXAMPLE: ANNUAL OR PERENNIAL RYE APPLIED AT APPROXIMATELY 80 POUNDS PER ACRE).
- WHERE STRAW MULCH IS REQUIRED FOR TEMPORARY EROSION CONTROL, IT SHALL BE APPLIED AT A MINIMUM THICKNESS OF 2".
- ALL EROSION/SEDIMENTATION CONTROL PONDS WITH A DEAD STORAGE DEPTH EXCEEDING 6" MUST HAVE A PERIMETER FENCE WITH A MINIMUM HEIGHT OF 3'.
- ALL WORK AND MATERIALS SHALL BE IN ACCORDANCE WITH CITY OF MERCER ISLAND STANDARDS AND SPECIFICATIONS.
- THE ESC FACILITIES SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE DETAILS ON THE APPROVED PLANS. LOCATIONS MAY BE MOVED TO SUIT FIELD CONDITIONS, SUBJECT TO APPROVAL BY THE ENGINEER AND THE CITY OF MERCER ISLAND INSPECTOR.
- A COPY OF THE APPROVED EROSION CONTROL PLANS MUST BE ON THE JOB SITE WHENEVER CONSTRUCTION IS IN PROGRESS.
- ALL LOTS ADJOINING OR HAVING ANY NATIVE GROWTH PROTECTION EASEMENTS (NGPE) SHALL HAVE A 4' HIGH TEMPORARY CONSTRUCTION FENCE (CYCLONE OR PLASTIC MESH) SEPARATING THE LOT (OR BUILDABLE PORTIONS OF THE LOT) FROM THE AREA RESTRICTED BY THE NGPE AND SHALL BE INSTALLED PRIOR TO ANY GRADING OR CLEARING AND REMAIN IN PLACE UNTIL A DWELLING IS CONSTRUCTED AND OWNERSHIP TRANSFERRED TO THE FIRST OWNER/OCCUPANT.
- CLEARING LIMITS SHALL BE DELINEATED WITH A CLEARING CONTROL FENCE. THE CLEARING CONTROL FENCE SHALL CONSIST OF A 6-FT. HIGH CHAIN LINK FENCE ADJACENT THE DRIP LINE OF TREES TO BE SAVED, WETLAND OR STREAM BUFFERS, AND SENSITIVE SLOPES. CLEARING CONTROL FENCES ALONG WETLAND OR STREAM BUFFERS OR UPSLOPE OF SENSITIVE SLOPES SHALL BE ACCOMPANIED BY AN EROSION CONTROL FENCE. IF APPROVED BY THE CITY, A FOUR-FOOT HIGH ORANGE MESH CLEARING CONTROL FENCE MAY BE USED TO DELINEATE CLEARING LIMITS IN ALL OTHER AREAS.
- OFF-SITE STREETS MUST BE KEPT CLEAN AT ALL TIMES. IF DIRT IS DEPOSITED ON THE PUBLIC STREET SYSTEM, THE STREET SHALL BE IMMEDIATELY CLEANED WITH POWER SWEEPER OR OTHER EQUIPMENT. ALL VEHICLES SHALL LEAVE THE SITE BY WAY OF THE CONSTRUCTION ENTRANCE AND SHALL BE CLEANED OF ALL DIRT THAT WOULD BE DEPOSITED ON THE PUBLIC STREETS.
- ANY CATCH BASINS COLLECTING RUNOFF FROM THE SITE, WHETHER THEY ARE ON OR OFF THE SITE, SHALL HAVE THEIR GRATES COVERED WITH FILTER FABRIC DURING CONSTRUCTION. CATCH BASINS DIRECTLY DOWNSTREAM OF THE CONSTRUCTION ENTRANCE OR ANY OTHER CATCH BASIN AS DETERMINED BY THE CITY INSPECTOR SHALL BE PROTECTED WITH A "FILTER FABRIC SOCK" OR EQUIVALENT.
- THE WASHED GRAVEL BACKFILL ADJACENT TO THE FILTER FABRIC FENCE SHALL BE REPLACED AND THE FILTER FABRIC COVERED IF IT IS NONFUNCTIONAL BY EXCESSIVE SILT ACCUMULATION AS DETERMINED BY THE CITY OF MERCER ISLAND. ALSO, ALL INTERCEPTOR SWALES SHALL BE CLEANED IF SILT ACCUMULATION EXCEEDS ONE-QUARTER DEPTH.
- ROCK FOR EROSION PROTECTION OF ROADWAY DITCHES, WHERE REQUIRED, MUST BE OF SOUND QUARRY ROCK, PLACED TO A DEPTH OF 1' AND MUST MEET THE FOLLOWING SPECIFICATIONS: 4"-8" ROCK/40% -70% PASSING; 2"-4" ROCK/30% -40% PASSING; AND 1"-2" ROCK/10% -20% PASSING.
- IF ANY PART(S) OF THE CLEARING LIMIT BOUNDARY OR TEMPORARY EROSION/SEDIMENTATION CONTROL PLAN IS/ARE DAMAGED, IT SHALL BE REPAIRED IMMEDIATELY.
- ALL PROPERTIES ADJACENT TO THE PROJECT SITE SHALL BE PROTECTED FROM SEDIMENT DEPOSITION AND RUNOFF.
- DO NOT FLUSH CONCRETE BY-PRODUCTS OR TRUCKS NEAR OR INTO THE STORM DRAINAGE SYSTEM. IF EXPOSED AGGREGATE IS FLUSHED INTO THE STORM SYSTEM, IT COULD MEAN RE-CLEANING THE ENTIRE DOWNSTREAM STORM SYSTEM, OR POSSIBLY RE-LAYING THE STORM LINE.
- PRIOR TO THE OCTOBER 1 OF EACH YEAR (THE BEGINNING OF THE WET SEASON), ALL DISTURBED AREAS SHALL BE REVIEWED TO IDENTIFY WHICH ONES CAN BE SEEDED IN PREPARATION FOR THE WINTER RAINS. THE IDENTIFIED DISTURBED AREA SHALL BE SEEDED WITHIN ONE WEEK OF OCTOBER 1. A SITE PLAN DEPICTING THE AREAS TO BE SEEDED AND THE AREAS TO REMAIN UNCOVERED SHALL BE SUBMITTED TO THE PUBLIC WORKS CONSTRUCTION INSPECTOR. THE INSPECTOR CAN REQUIRE SEEDING OF ADDITIONAL AREAS IN ORDER TO PROTECT SURFACE WATERS, ADJACENT PROPERTIES, OR DRAINAGE FACILITIES.



**ATWELL**  
25 CENTRAL WAY, SUITE 400,  
KIRKLAND, WA 98033  
P: 425.216.4051 F: 425.216.4052  
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SCALE:  
AS NOTED  
PROJECT MANAGER:  
YANNICK METS, PE  
PROJECT ENGINEER:  
ALI RAMEZANI, PE  
DESIGNER:  
CHRISTOPHER WISCOMB  
ISSUE DATE:  
11/20/2023

| NO | DATE | BY | REVISIONS |
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**TESC DETAILS**  
**3036 67TH AVENUE SE**  
**SITE PLAN**  
**PARCEL 2174501025**  
**CITY OF MERCER ISLAND WASHINGTON**

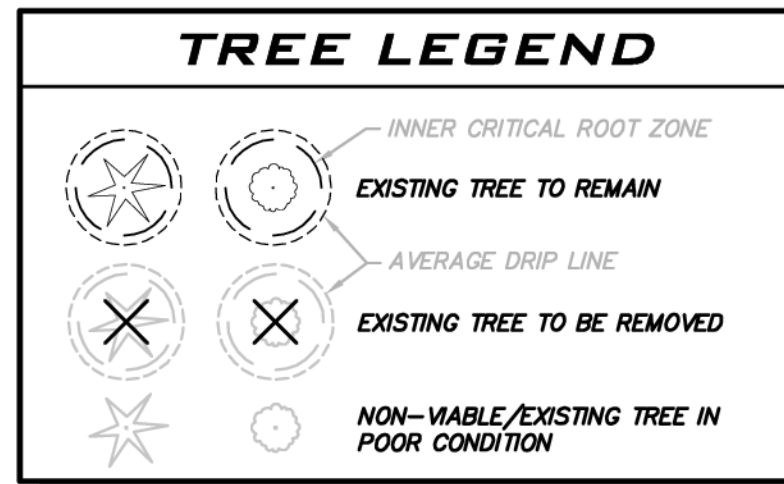
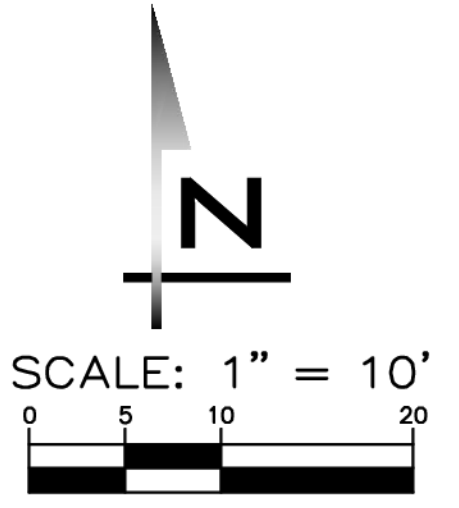
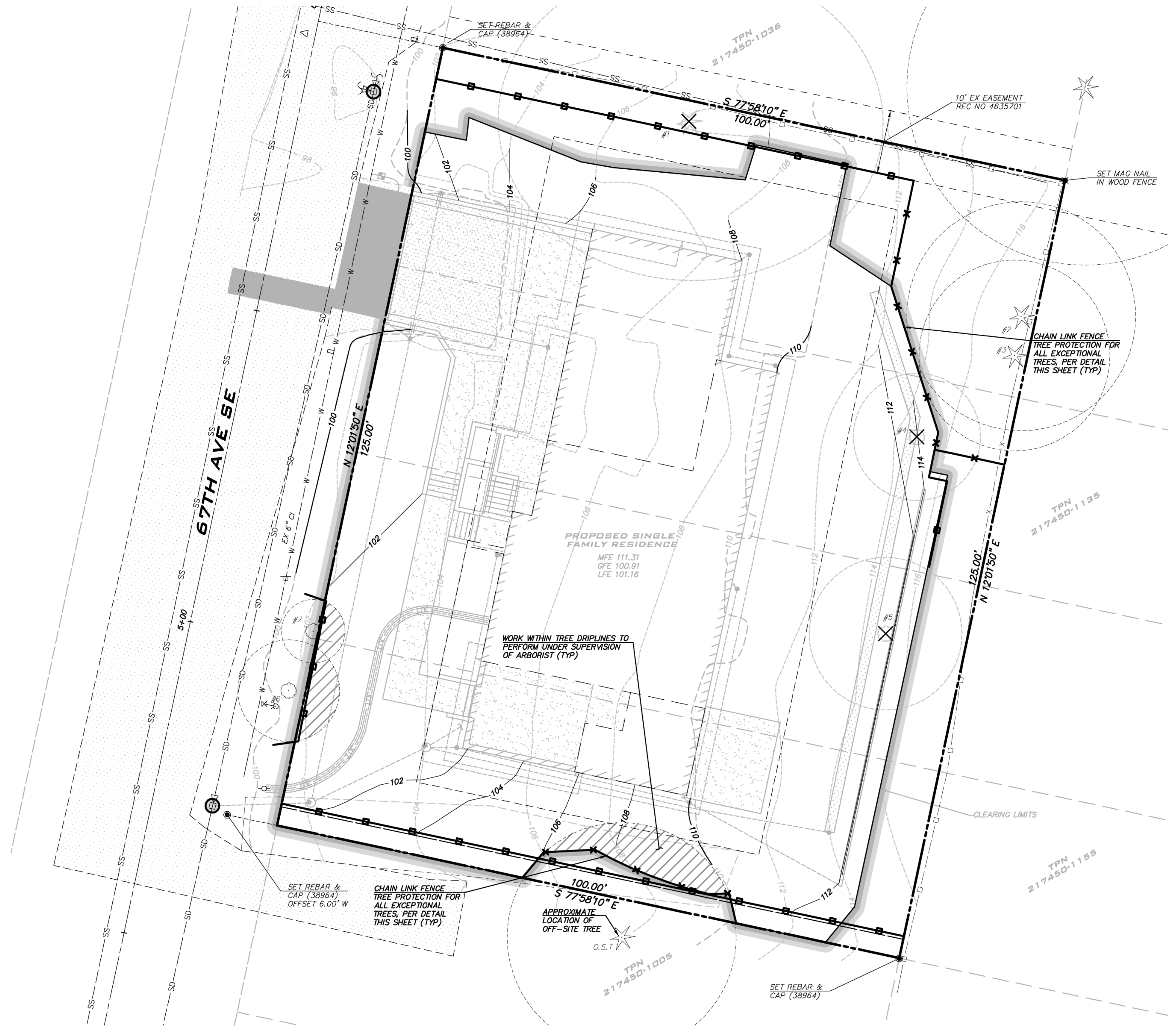
11/20/23  
JOB NUMBER:  
**22-042**  
SHEET NAME:  
**TP-02**  
SHT **3** OF **9**

**EXISTING UTILITY NOTE**  
EXISTING UTILITIES ARE SHOWN IN THE APPROXIMATE LOCATION. THERE IS NO GUARANTEE THAT ALL UTILITY LINES ARE SHOWN, OR THAT THE LOCATION, SIZE AND MATERIAL IS ACCURATE. THE CONTRACTOR SHALL UNCOVER ALL INDICATED PIPING WHERE CROSSING, INTERFERENCES, OR CONNECTIONS OCCUR PRIOR TO TRENCHING OR EXCAVATION FOR ANY PIPE OR STRUCTURES, TO DETERMINE ACTUAL LOCATIONS, SIZE AND MATERIAL. THE CONTRACTOR SHALL MAKE THE APPROPRIATE PROVISION FOR PROTECTION OF SAID FACILITIES. THE CONTRACTOR SHALL NOTIFY ONE CALL AT 8-1-1 (WASHINGTON811.COM) AND ARRANGE FOR FIELD LOCATION OF EXISTING FACILITIES BEFORE CONSTRUCTION.



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KIRKLAND, WA 98033  
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SCALE:  
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PROJECT MANAGER:  
YANNICK METS, PE  
PROJECT ENGINEER:  
ALI RAMEZANI, PE  
DESIGNER:  
CHRISTOPHER WISCOMB  
ISSUE DATE:  
11/20/2023



### TREE PROTECTION AREA (TPZ)

**KEEP OUT!**

**DO NOT REMOVE OR ADJUST THE APPROVED LOCATION OF THIS TREE PROTECTION AREA**

Trees enclosed by this fence are protected and are subject to the conditions of the tree permit. Violation of tree conditions may lead to:

1. Correction Notices or Stop Work Orders until compliance is achieved
2. RE Inspection Fees/financial penalties
3. Arborist reports/recommending mitigation

Notes:

1. No pruning shall be performed unless under the direction of the Project Arborist. Including limbing trees up.
2. No grading, excavation, storage (materials, equipment, vehicles, etc.), or other unpermitted activity shall occur inside the protective fencing.
3. Penalties for damage by root damage/compaction or removing a saved tree may be a fine up to three times the value of the tree plus restoration (M/C: 19.10.360).
4. Any work in approved TPZ must be with the permission of the City Arborist: (205) 275-7713, john.kettney@mercer.gov
5. 5' course woodpile within the tree protection zone, but not against the tree trunk.

Tree protection fence: 4' x 4' chain link fence, solidly anchored into the ground, or if anchored high-density polyethylene fencing with 3.5" x 1.5" openings, color orange. Steel posts installed at 8' o.c.

2" x 4" steel posts or approved equal

Maintain existing grade with the tree protection fence unless otherwise indicated on the plans

Any Work in the protected area must be with the permission of the City Arborist john.kettney@mercer.gov

### TREE PROTECTION FENCING

NTS

### STORM NOTES

STORM SERVICES TO BE 4" PVC AT 2% MIN SLOPE UNLESS OTHERWISE NOTED. SERVICES DESIGNED TO HAVE AT LEAST 1.5' COVER.

### AMENDED SOILS

THE LAWN AND LANDSCAPE AREAS ARE REQUIRED TO PROVIDE POST-CONSTRUCTION SOIL QUALITY AND DEPTH IN ACCORDANCE WITH BMP T5.13. THE PROJECT CIVIL ENGINEER MUST PROVIDE A LETTER OF CERTIFICATION TO ENSURE THAT THE LAWN AND LANDSCAPE ARE MEETING THE POST-CONSTRUCTION SOIL QUALITY AND DEPTH REQUIREMENTS SPECIFIED ON THE APPROVED PLAN SET PRIOR TO FINAL INSPECTION OF THE PROJECT.

### WATER NOTES

1. IF EXISTING METER MEETS CURRENT CITY STANDARDS IT CAN BE RE-USED OTHERWISE CUT AND CAP SERVICE AT MAIN PER CURRENT PUBLIC WORKS SPECIFICATIONS AND INSTALL NEW SERVICES.
2. NEW 1" WATER SERVICE AND 3/4" METER SHOWN IS TYPICAL SIZE FOR A NEW SINGLE FAMILY HOME. SIZE MAY VARY, BASED ON UPC SIZING CRITERIA, AND SHALL BE CONFIRMED BY BUILDER PRIOR TO CONSTRUCTION.
3. IF NEW WATER SERVICE IS REQUIRED, INSTALL PER MERCER ISLAND SDT W-13.

### SANITARY SEWER NOTES

1. EXISTING LOCATION OF SANITARY SEWER PER CITY OF MERCER ISLAND ASBUILT. CONTRACTOR TO VERIFY POINT OF CONNECTION WITHIN THE EASEMENT.
2. EXISTING SANITARY SEWER LINE SHALL BE CUT AND CAPPED AT POINT OF CONNECTION TO THE SIDE SEWER. THE EXISTING SS LINE WITHIN THE EASEMENT SHALL BE CLEANED, LOCATED AND INSPECTED BY CAMERA TO VERIFY SUITABILITY FOR RE-USE AND NEED FOR RE-LINING.
3. PROPOSED SEWER SERVICE LINE TO BE INSTALLED PER CITY OF MERCER ISLAND STANDARD DETAIL S-18.
4. SANITARY SEWER CLEANOUT TO BE INSTALLED PER CITY OF MERCER ISLAND STANDARD DETAIL S-19.
5. REFER TO CITY OF MERCER ISLAND STANDARD DETAIL S-22 FOR DISCONNECTION AND RECONNECTION NOTES AND SPECIFICATIONS

### EXISTING UTILITY NOTE

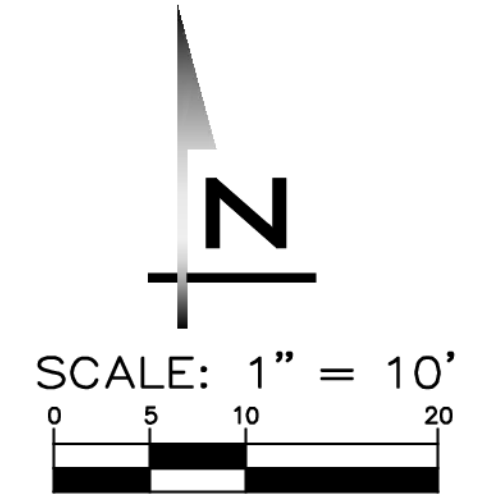
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**TREE RETENTION PLAN**  
**3036 67TH AVENUE SE**  
**SITE PLAN**  
**PARCEL 2174501025**  
**CITY OF MERCER ISLAND WASHINGTON**



11/20/23  
 JOB NUMBER:  
**22-042**  
 SHEET NAME:  
**TR-01**



25 CENTRAL WAY, SUITE 400,  
KIRKLAND, WA 98033  
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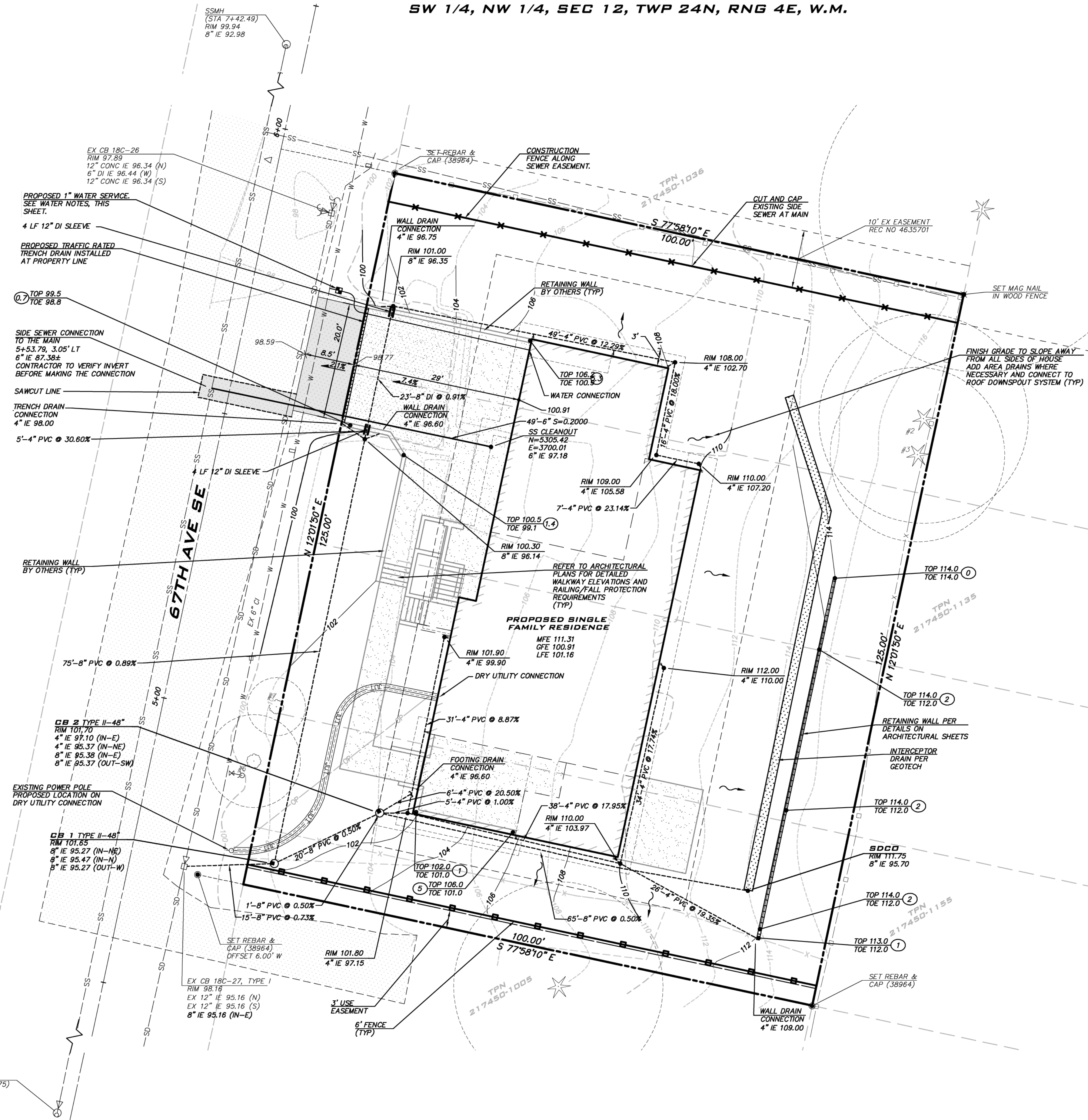
SCALE:  
AS NOTED

PROJECT MANAGER:  
YANNICK METS, PE

PROJECT ENGINEER:  
ALI RAMEZANI, PE

DESIGNER:  
CHRISTOPHER WISCOMB

ISSUE DATE:  
11/20/2023



**STORM NOTES**

1. STORM SERVICES TO BE 4" PVC AT 2% MIN SLOPE UNLESS OTHERWISE NOTED. SERVICES DESIGNED TO HAVE AT LEAST 1.5' COVER.
2. TYPE II CATCH BASINS TO BE INSTALLED PER COB STD DTL D-4.
3. STORM DRAIN CLEANOUTS TO BE INSTALLED PER COB STD DTL D-52.

**AMENDED SOILS**

THE LAWN AND LANDSCAPE AREAS ARE REQUIRED TO PROVIDE POST-CONSTRUCTION SOIL QUALITY AND DEPTH IN ACCORDANCE WITH BMP T5.13. THE PROJECT CIVIL ENGINEER MUST PROVIDE A LETTER OF CERTIFICATION TO ENSURE THAT THE LAWN AND LANDSCAPE AREAS ARE MEETING THE POST-CONSTRUCTION SOIL QUALITY AND DEPTH REQUIREMENTS SPECIFIED ON THE APPROVED PLAN SET PRIOR TO FINAL INSPECTION OF THE PROJECT.

**WATER NOTES**

1. IF EXISTING METER MEETS CURRENT CITY STANDARDS IT CAN BE RE-USED OTHERWISE CUT AND CAP SERVICE AT MAIN PER CURRENT PUBLIC WORKS SPECIFICATIONS AND INSTALL NEW SERVICES.
2. NEW 1" WATER SERVICE AND 3/4" METER SHOWN IS TYPICAL SIZE FOR A SINGLE FAMILY HOME. SIZE MAY VARY, BASED ON UPC SIZING CRITERIA, AND SHALL BE CONFIRMED BY BUILDER PRIOR TO CONSTRUCTION.
3. IF NEW WATER SERVICE IS REQUIRED, INSTALL PER MERCER ISLAND SOT DTL W-13.

**SANITARY SEWER NOTES**

1. EXISTING SANITARY SEWER LINE SHALL BE CUT AND CAPPED AT THE EASEMENT LINE.
2. PROPOSED SEWER SERVICE LINE TO BE INSTALLED PER CITY OF MERCER ISLAND STANDARD DETAIL S-18 & S-17.
3. SANITARY SEWER CLEANOUT TO BE INSTALLED PER CITY OF MERCER ISLAND STANDARD DETAIL S-19.
4. REFER TO CITY OF MERCER ISLAND STANDARD DETAIL S-22 FOR DISCONNECTION AND RECONNECTION NOTES AND SPECIFICATIONS
5. MAINTAIN MINIMUM 18" BETWEEN NEW SIDE SEWER AND OTHER UTILITIES.

**EXISTING UTILITY NOTE**

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SITE PLAN  
**3036 67TH AVENUE SE**  
 SITE PLAN  
 PARCEL 2174501025  
 CITY OF MERCER ISLAND WASHINGTON



11/20/23

JOB NUMBER:  
**22-042**

SHEET NAME:  
**SP-01**

SHT **5** OF **9**



**ATWELL**

25 CENTRAL WAY, SUITE 400,  
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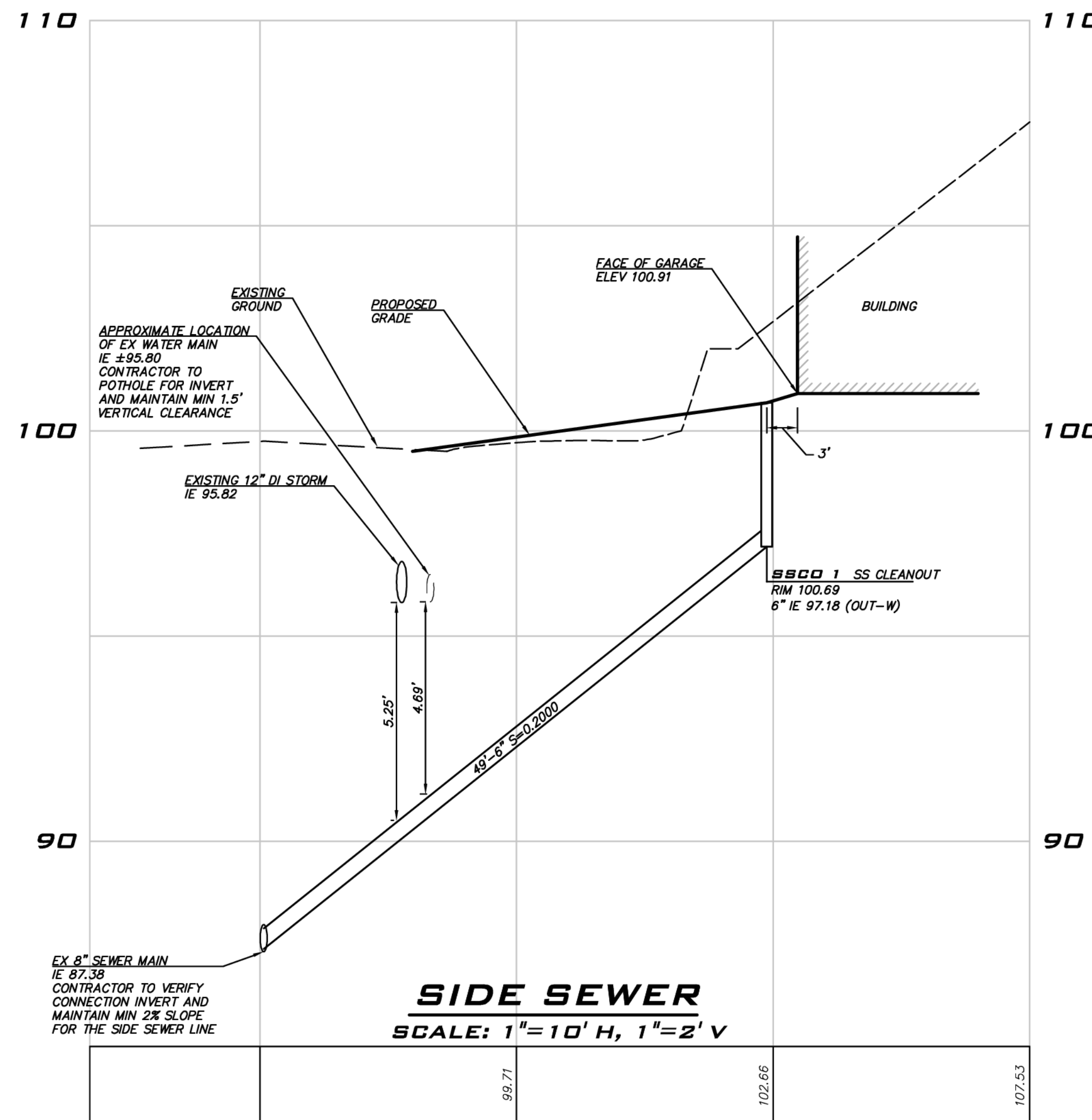
SCALE:  
AS NOTED

PROJECT MANAGER:  
YANNICK METS, PE

PROJECT ENGINEER:  
ALI RAMEZANI, PE

DESIGNER:  
CHRISTOPHER WSCOMB

ISSUE DATE:  
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**SIDE SEWER PROFILE**  
**3036 67TH AVENUE SE**  
**SITE PLAN**  
PARCEL 2174501025  
CITY OF MERCER ISLAND WASHINGTON

**SANITARY SEWER NOTES**

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11/20/23

JOB NUMBER:

**22-042**

SHEET NAME:

**SS-01**

SHT **6** OF **9**



25 CENTRAL WAY, SUITE 400,  
KIRKLAND, WA 98033  
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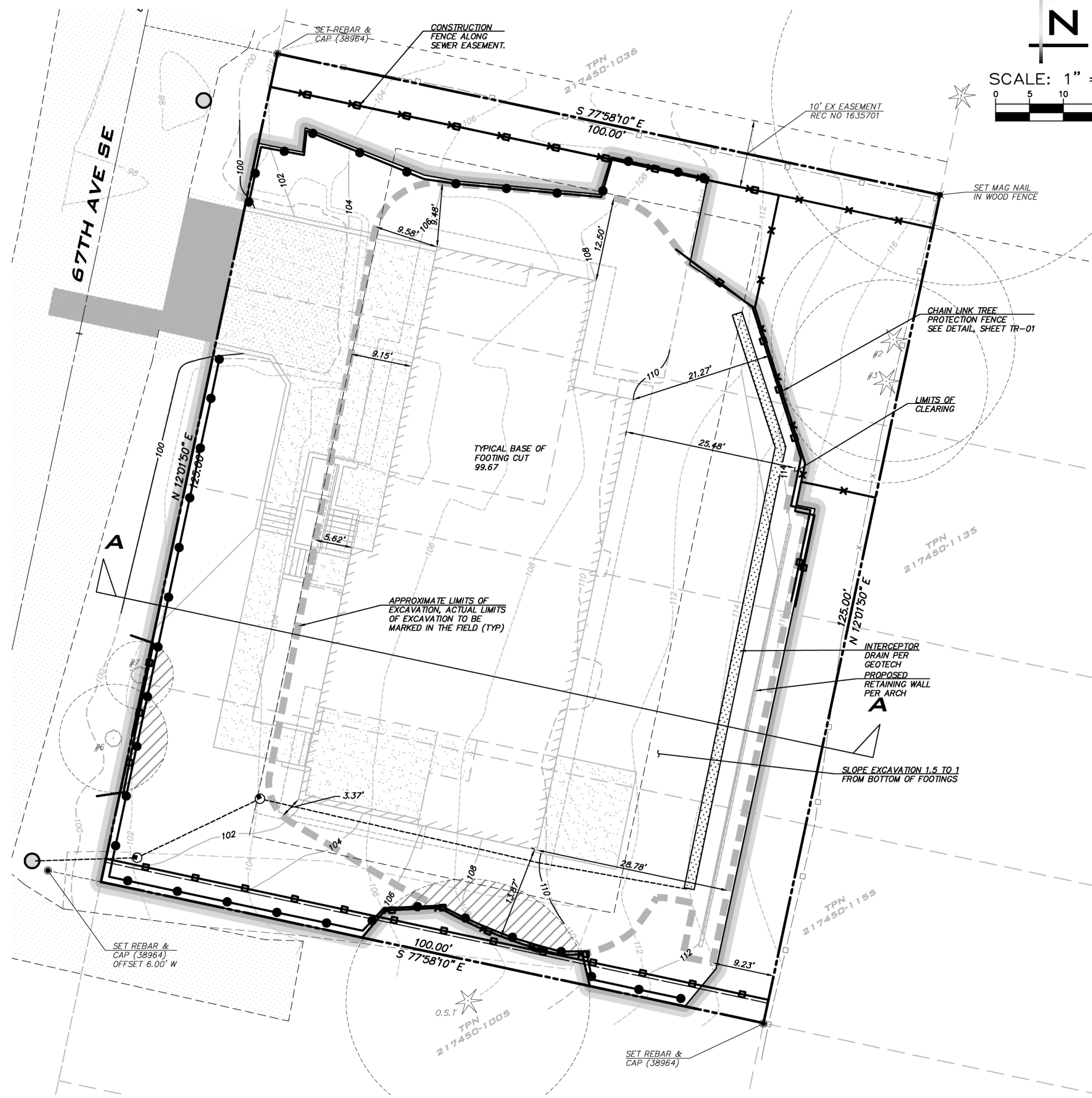
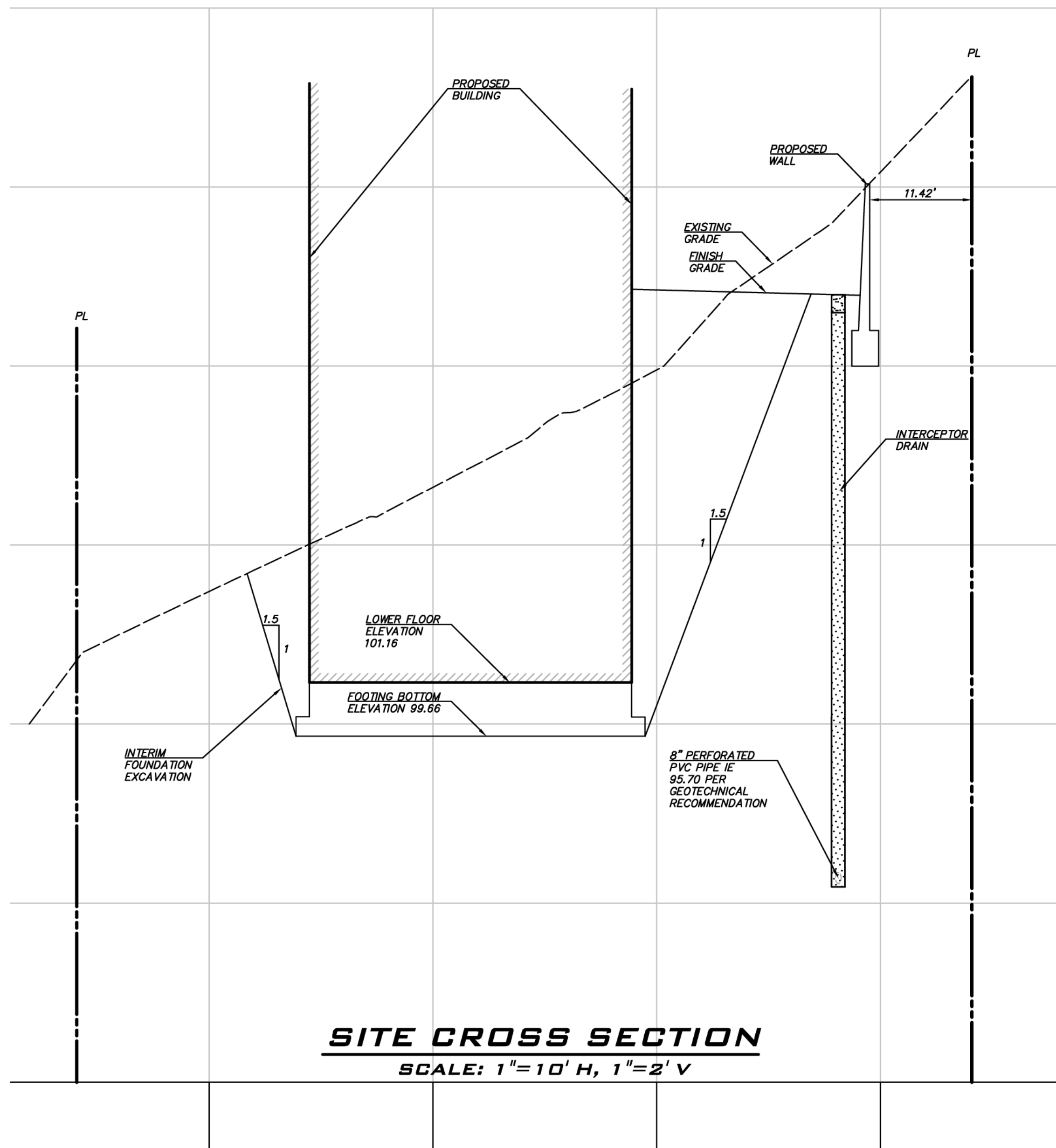
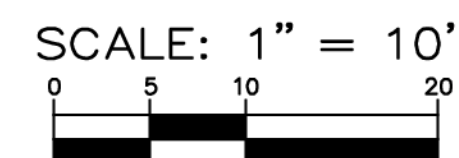
SCALE:  
AS NOTED

PROJECT MANAGER:  
YANNICK METS, PE

PROJECT ENGINEER:  
ALI RAMEZANI, PE

DESIGNER:  
CHRISTOPHER WSCOMB

ISSUE DATE:  
11/20/2023



**EXISTING UTILITY NOTE**

EXISTING UTILITIES ARE SHOWN IN THE APPROXIMATE LOCATION. THERE IS NO GUARANTEE THAT ALL UTILITY LINES ARE SHOWN, OR THAT THE LOCATION, SIZE AND MATERIAL IS ACCURATE. THE CONTRACTOR SHALL UNCOVER ALL INDICATED PIPING WHERE CROSSING, INTERFERENCES, OR CONNECTIONS OCCUR PRIOR TO TRENCHING OR EXCAVATION FOR ANY PIPE OR STRUCTURES, TO DETERMINE ACTUAL LOCATIONS, SIZE AND MATERIAL. THE CONTRACTOR SHALL MAKE THE APPROPRIATE PROVISION FOR PROTECTION OF SAID FACILITIES. THE CONTRACTOR SHALL NOTIFY ONE CALL AT 8-1-1 (WASHINGTON811.COM) AND ARRANGE FOR FIELD LOCATION OF EXISTING FACILITIES BEFORE CONSTRUCTION.

| NO | DATE | BY | REVISIONS |
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**TEMPORARY GRADING PLAN**  
**3036 67TH AVENUE SE**  
**SITE PLAN**  
PARCEL 2174501025  
CITY OF MERCER ISLAND WASHINGTON



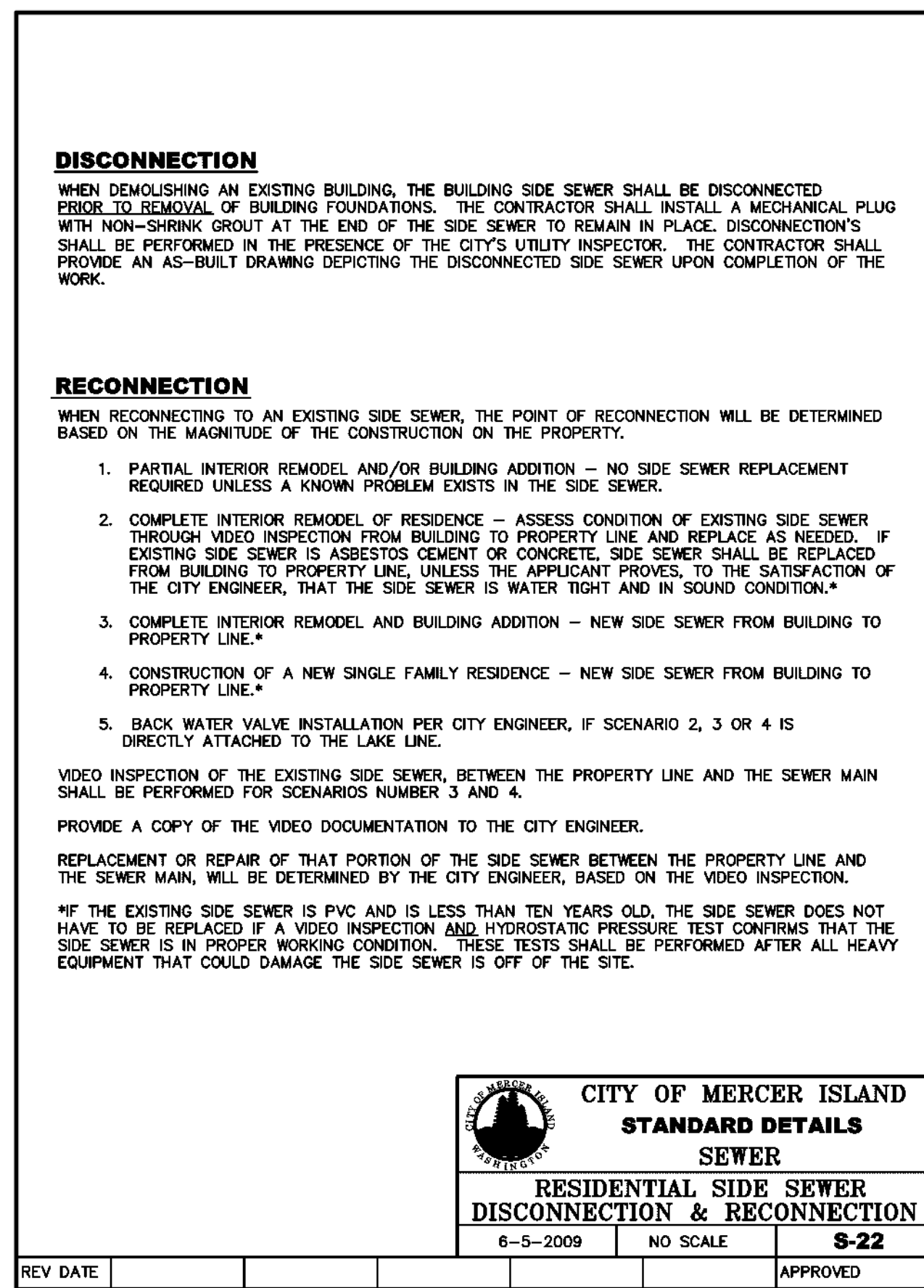
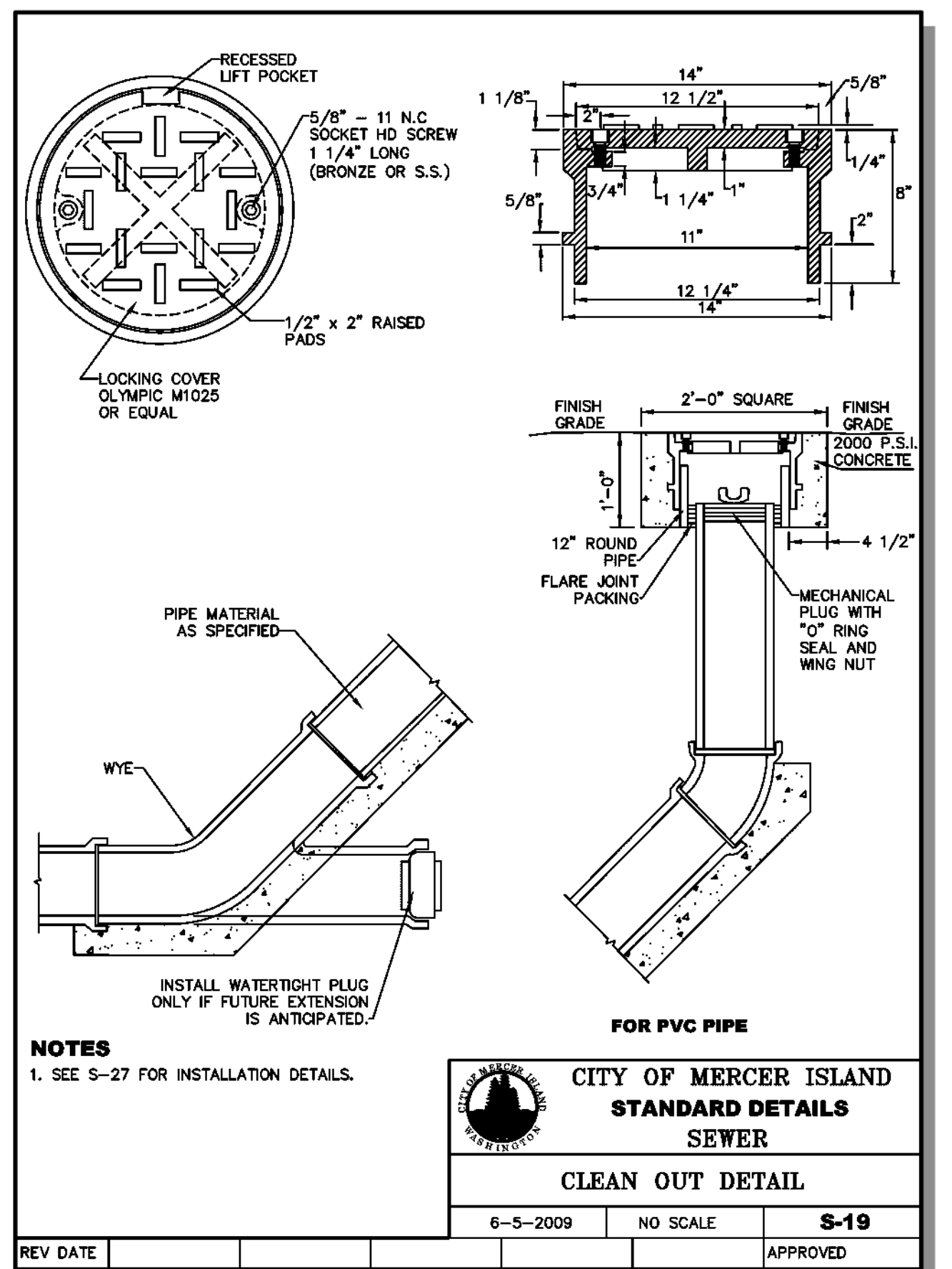
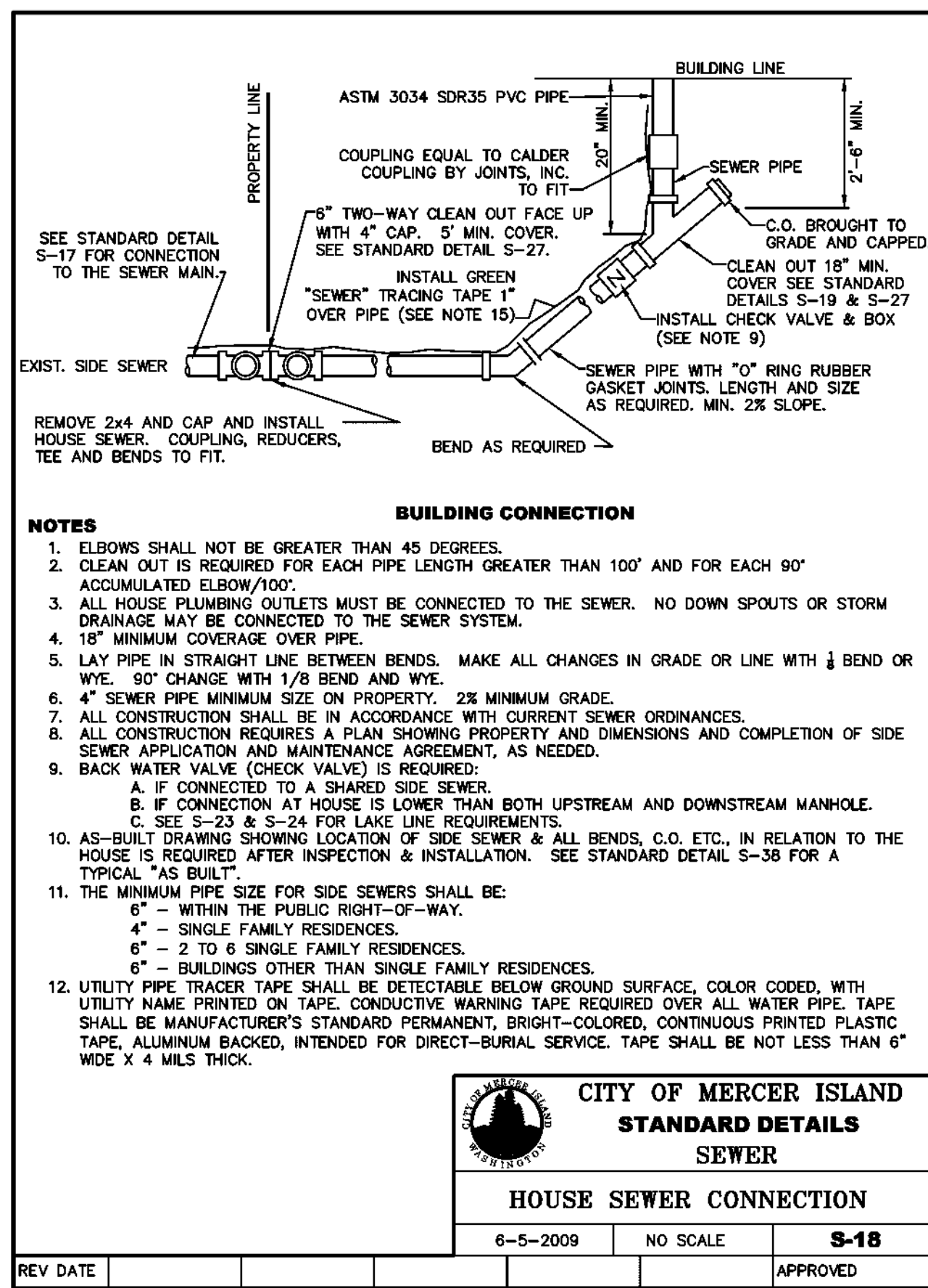
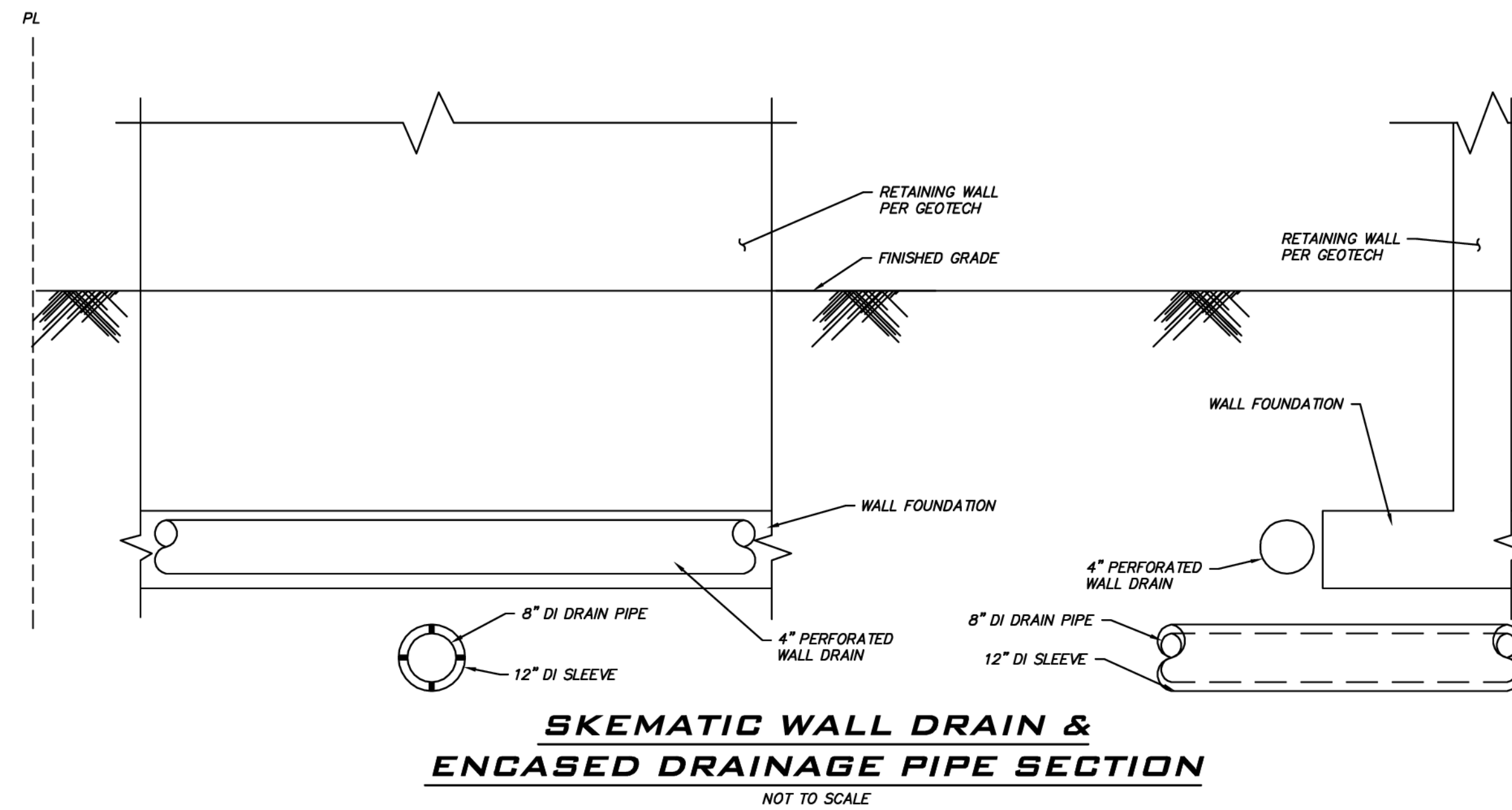
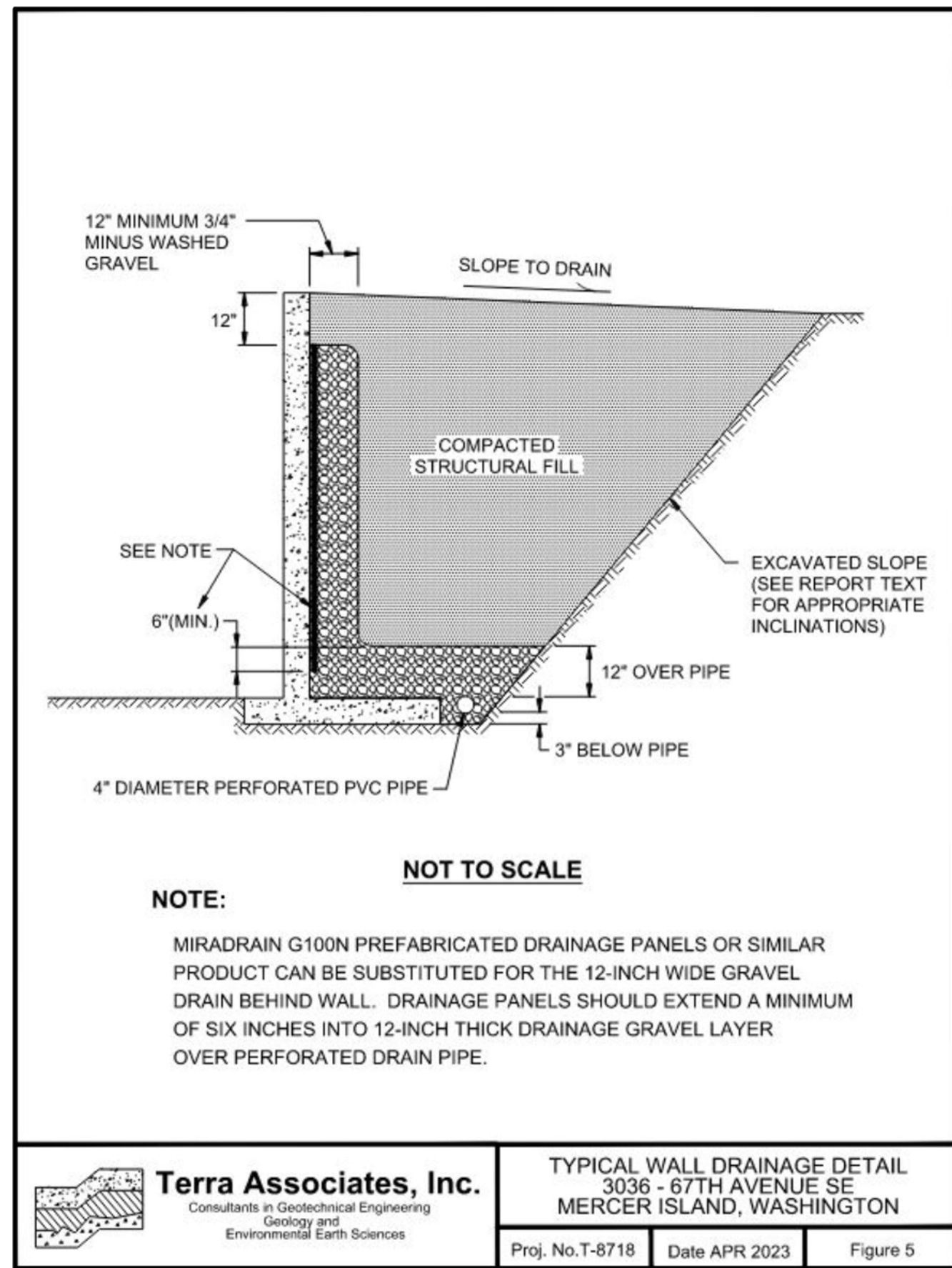
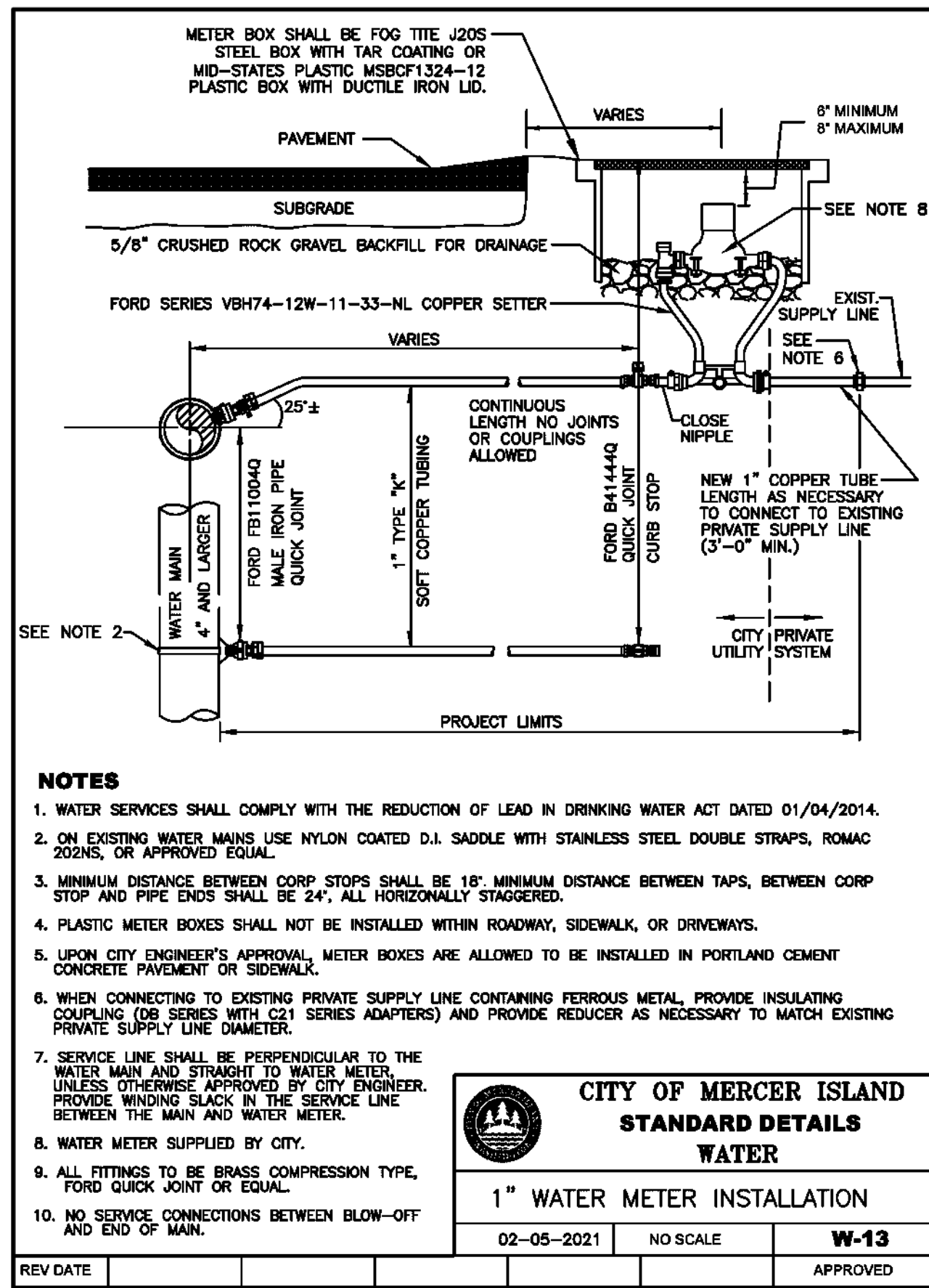
11/20/23

JOB NUMBER:

**22-042**

SHEET NAME:

**TG-01**



**EXISTING UTILITY NOTE**

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**ATWELL**  
 25 CENTRAL WAY, SUITE 400,  
 KIRKLAND, WA 98033  
 P: 425.216.4051 F: 425.216.4052  
 WWW.ATWELL-GROUP.COM

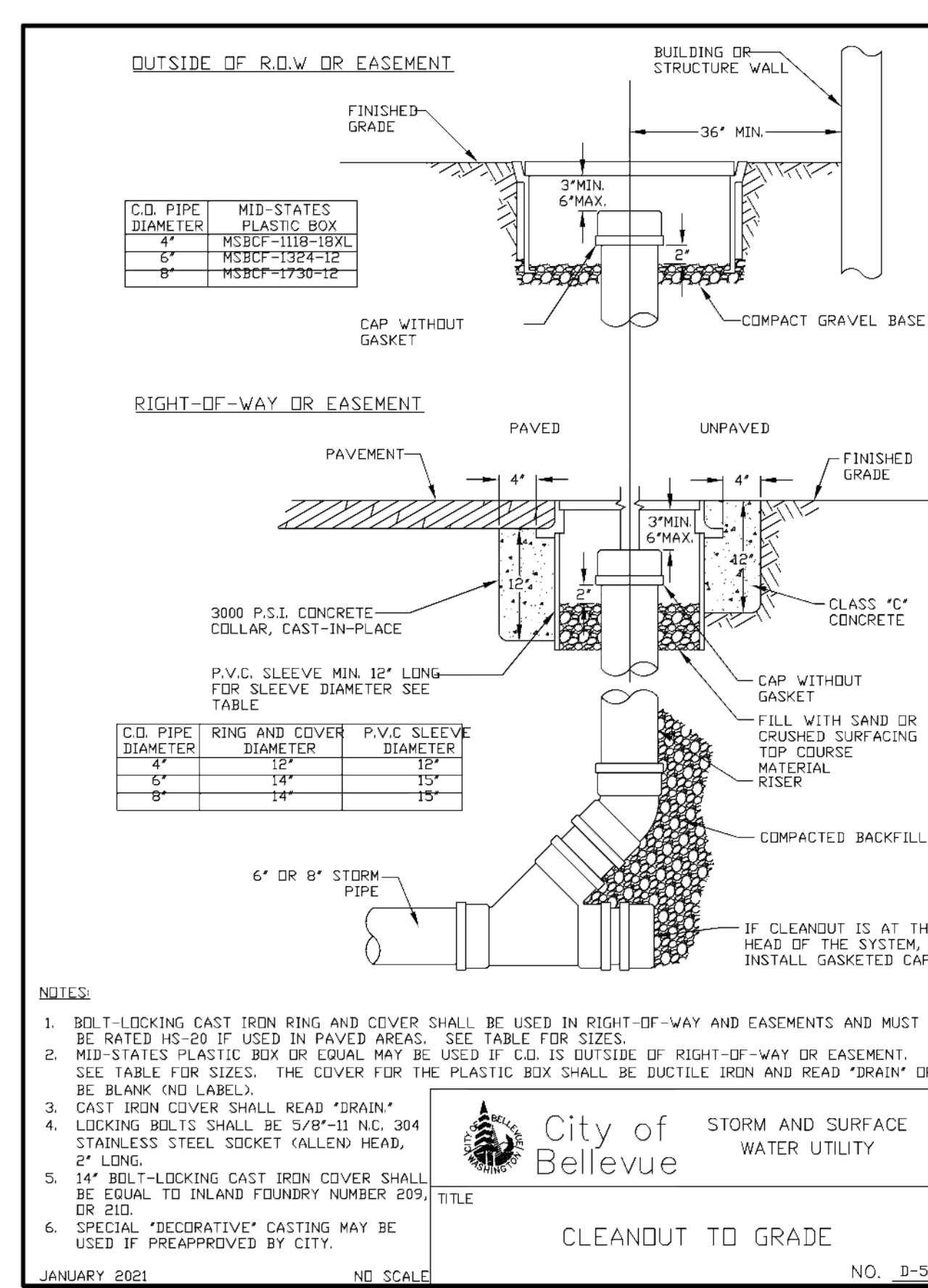
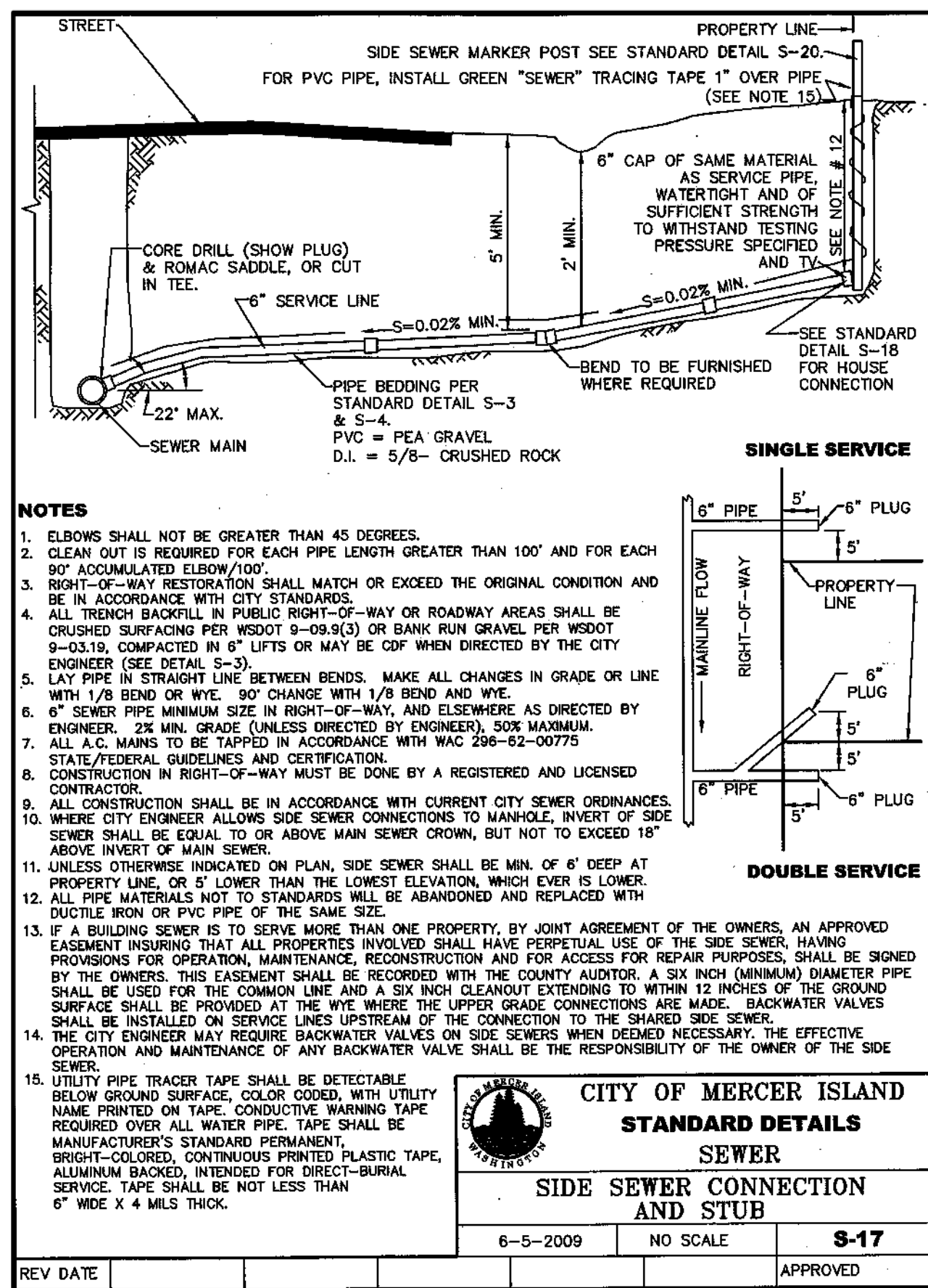
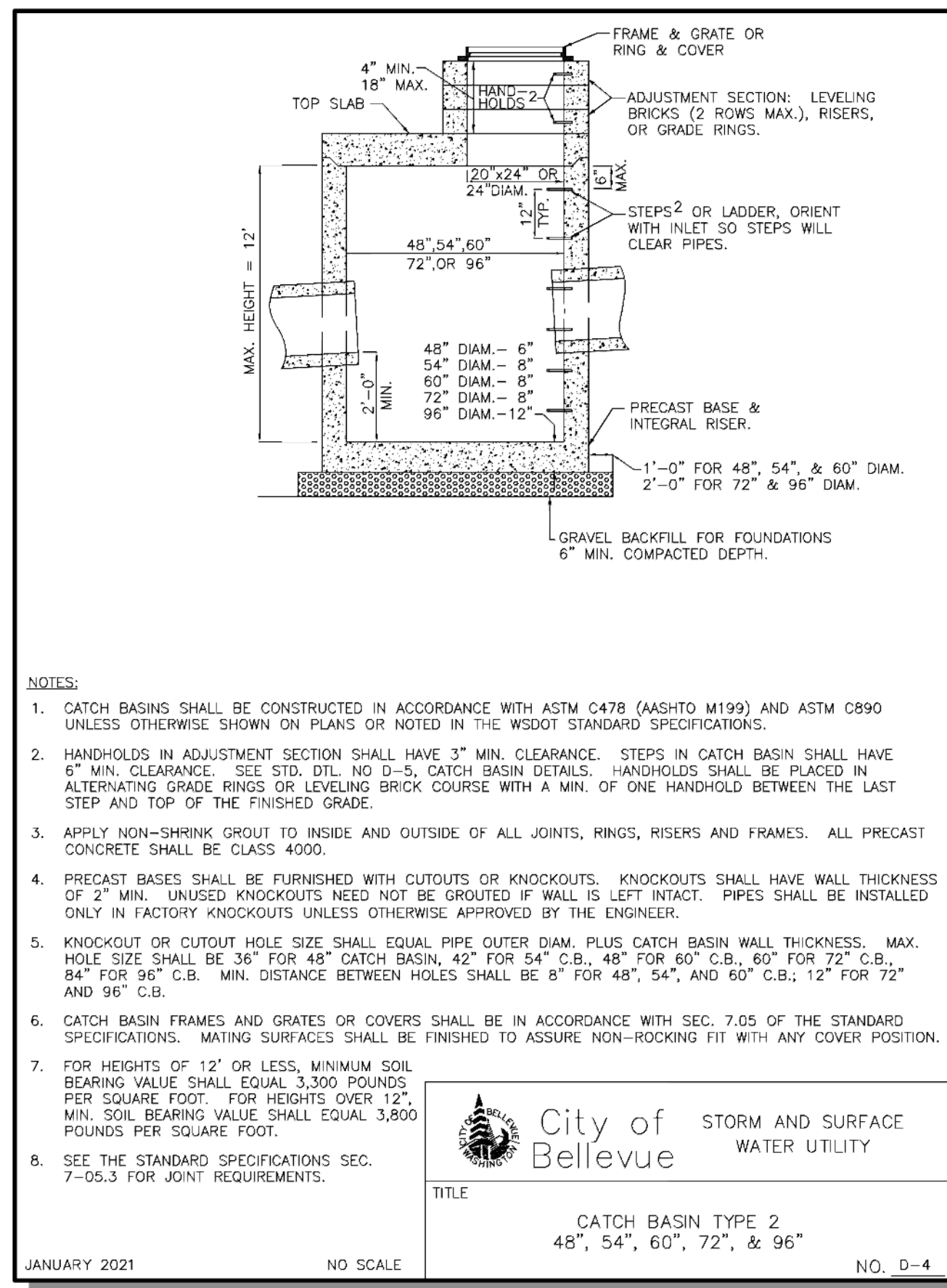
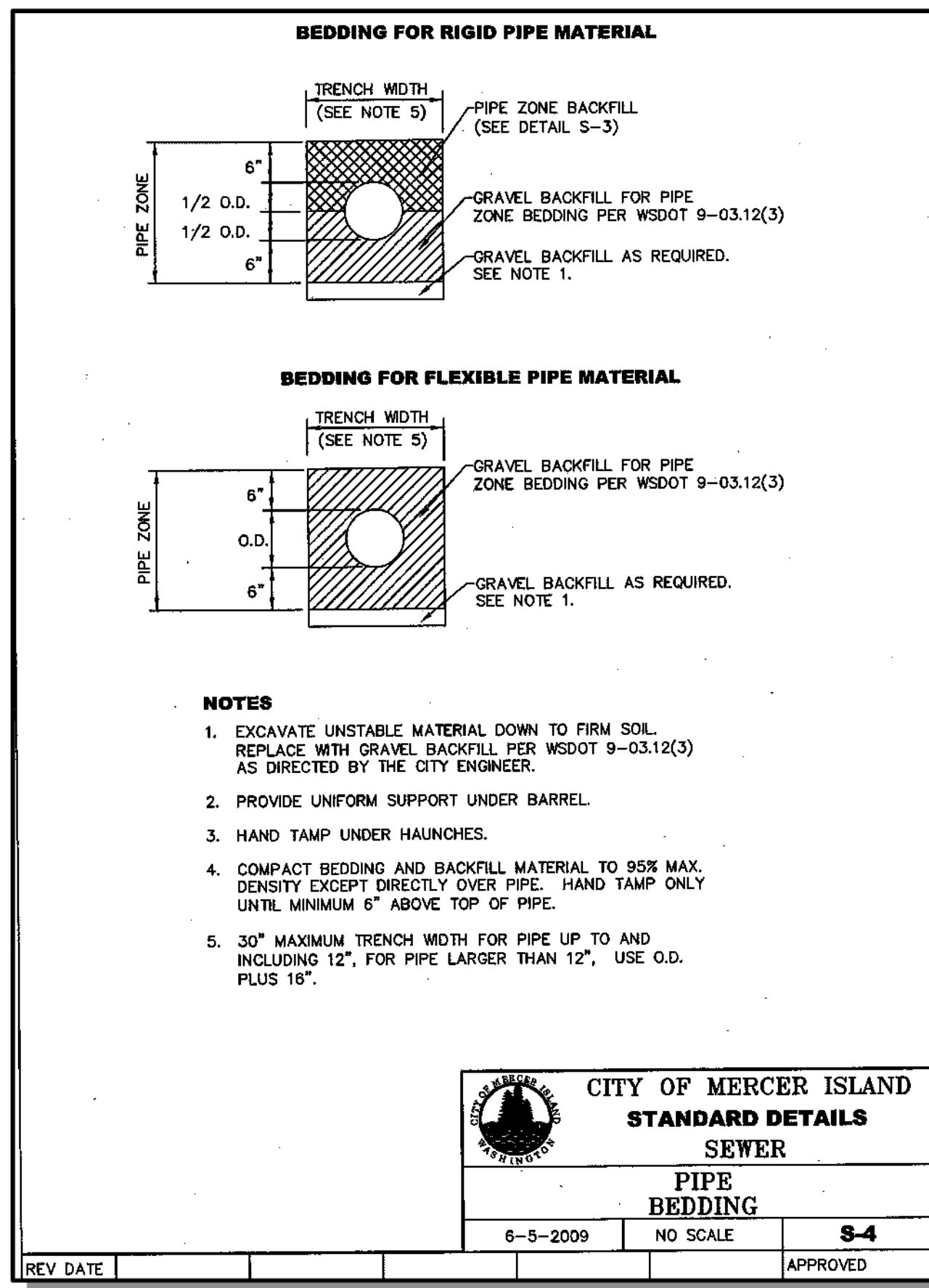
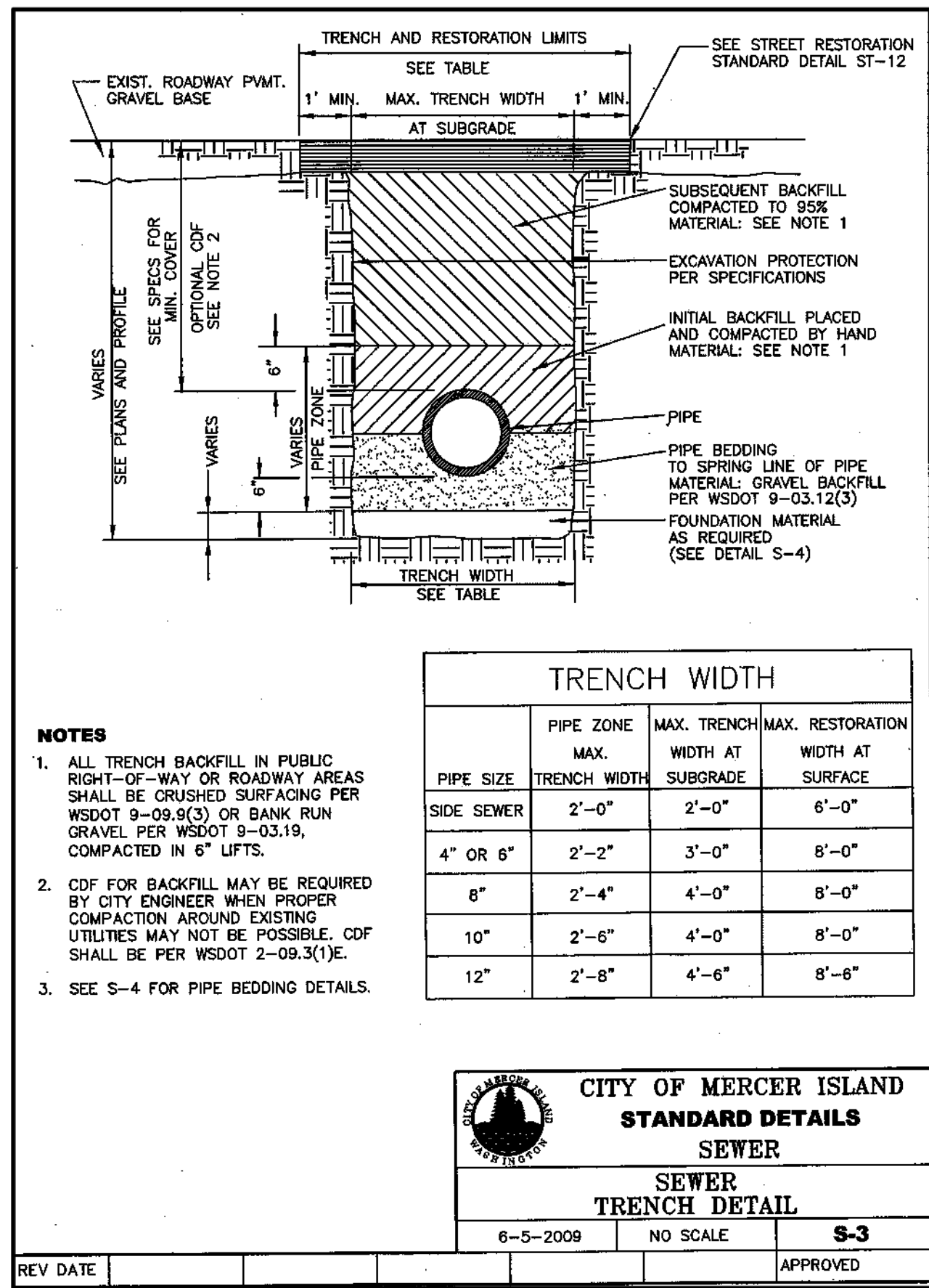
SCALE: AS NOTED  
 PROJECT MANAGER: YANNICK METS, PE  
 PROJECT ENGINEER: ALI RAMEZANI, PE  
 DESIGNER: CHRISTOPHER WSCOMB  
 ISSUE DATE: 11/20/2023

| NO | DATE | BY | REVISIONS |
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|    |      |    |           |

**DETAILS**  
**3036 67TH AVENUE SE**  
**SITE PLAN**  
 PARCEL 2174501025  
 CITY OF MERCER ISLAND WASHINGTON

11/20/23  
 JOB NUMBER: 22-042  
 SHEET NAME: DT-01  
 SHT 8 OF 9

**YANNICK METS**  
 STATE OF WASHINGTON  
 REGISTERED PROFESSIONAL ENGINEER  
 56308



25 CENTRAL WAY, SUITE 400,  
KIRKLAND, WA 98033  
P: 425.216.4051 F: 425.216.4052  
WWW.ATWELL-GROUP.COM

SCALE: AS NOTED  
PROJECT MANAGER: YANNICK METS, PE  
PROJECT ENGINEER: ALI RAMEZANI, PE  
DESIGNER: CHRISTOPHER WISCOMB  
ISSUE DATE: 11/20/2023

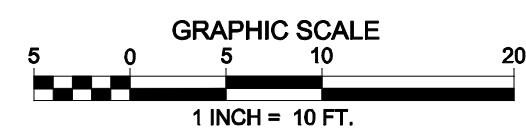
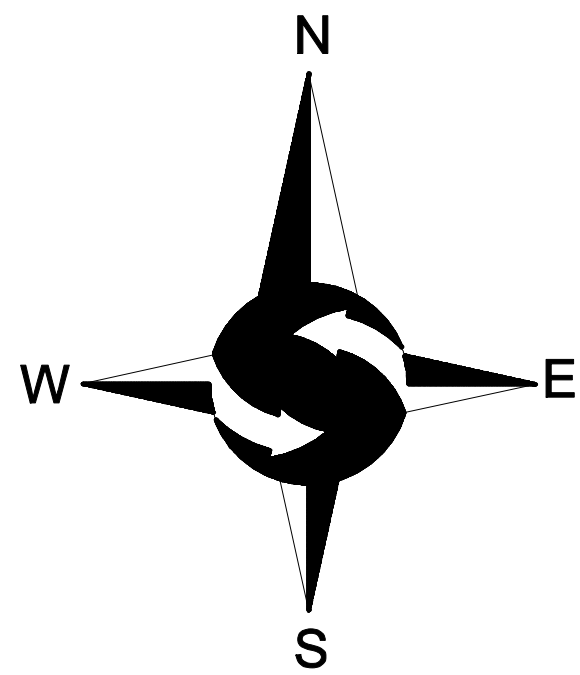
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DETAILS  
3036 67TH AVENUE SE  
SITE PLAN  
PARCEL 2174501025  
CITY OF MERCER ISLAND WASHINGTON

YANNICK METS  
REGISTERED PROFESSIONAL ENGINEER  
5608

11/20/23  
JOB NUMBER: 22-042  
SHEET NAME: DT-02  
SHT 9 OF 9

**EXISTING UTILITY NOTE**  
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**LEGEND**

- |  |                          |
|--|--------------------------|
| ○ FOUND REBAR AS DESCRIBED                           | —OHP— OVERHEAD POWER     |
| ⊗ SET MAG NAIL AS DESCRIBED                          | —OHU— OVERHEAD UTILITIES |
| ● SET 5/8" X 24" IRON ROD<br>W/1" YELLOW PLASTIC CAP | —□— WOOD FENCE           |
| ⊠ POWER METER  | ▬ CONCRETE WALL          |
| ⊕ UTILITY POLE                                       | — — WIRE FENCE           |
| ⊞ CATCH BASIN  | ▨ TIMBER WALL            |
| ⊞ MAILBOX  | ▨ ROCKERY                |
| ⊞ SANITARY SEWER MANHOLE                             | ▨ ASPHALT SURFACE        |
| ⊞ WATER VALVE  | ▨ CONCRETE SURFACE       |
| ⊞ FIRE HYDRANT                                       | AP APPLE                 |
| ⊞ WATER METER  | DF DOUGLAS FIR           |
| ⊞ SIGN   | DS DECIDUOUS             |
| —SS— APPROXIMATE LOCATION SANITARY<br>SEWER LINE     | PI PINE                  |
| —SD— APPROXIMATE LOCATION STORM<br>DRAIN LINE        | * INDICATES MULTI-TRUNK  |
| —W— APPROXIMATE LOCATION<br>UNDERGROUND WATER LINE   |                          |

**LEGAL DESCRIPTION**

LOTS 15, 16, 17, 18 AND THE SOUTHERLY 5 FEET OF LOT 19, BLOCK 6, EAST SEATTLE, ACCORDING TO THE PLAT THEREOF RECORDED IN VOLUME 3 OF PLATS, PAGES 22 AND 23, RECORDS OF KING COUNTY, WASHINGTON; EXCEPT THAT PORTION THEREOF LYING WITHIN MERCER ISLAND ROAD (67TH AVENUE SE)

SITUATE IN THE CITY OF MERCER ISLAND, COUNTY OF KING, STATE OF WASHINGTON.

**BASIS OF BEARINGS**

RECORD OF SURVEY BY TERRANE FOR JAYMARC HOMES, RECORDED ON JULY 26, 2021, IN VOLUME 451 OF SURVEYS, PAGE 259, UNDER RECORDING NO. 20210726900027, RECORDS OF KING COUNTY, WASHINGTON.

**PROJECT INFORMATION**

**SURVEYOR:** SITE SURVEYING, INC.  
21923 NE 11TH ST  
SAMMAMISH, WA 98074  
PHONE: 425.298.4412

**PROPERTY OWNER:** WILLIAM E. BUCHAN, INC  
3036 67TH AVENUE SE  
MERCER ISLAND, WA 98040

**TAX PARCEL NUMBER:** 217450-1025

**PROJECT ADDRESS:** 3036 67TH AVENUE SE  
MERCER ISLAND, WA 98040

**ZONING:** R-8.4

**JURISDICTION:** CITY OF MERCER ISLAND

**PARCEL ACREAGE:** 12,500 S.F. (0.286 ACRES) AS SURVEYED

**GENERAL NOTES**

- THIS SURVEY WAS COMPLETED WITHOUT BENEFIT OF A CURRENT TITLE REPORT. EASEMENTS AND OTHER ENCUMBRANCES MAY EXIST ON THIS PROPERTY THAT ARE NOT SHOWN HEREON.
- INSTRUMENTATION FOR THIS SURVEY WAS A 3-SECOND SPECTRAPRECISION FOCUS SS TOTAL STATION. PROCEDURES USED IN THIS SURVEY MEET OR EXCEED STANDARDS SET BY WAC 332-130-090.
- THE INFORMATION ON THIS MAP REPRESENTS THE RESULTS OF A SURVEY MADE IN AUGUST 2021 AND CAN ONLY BE CONSIDERED AS INDICATING THE GENERAL CONDITIONS EXISTING AT THAT TIME.
- UTILITIES SHOWN ON THIS SURVEY ARE BASED UPON ABOVE GROUND OBSERVATIONS AND AS-BUILT PLANS WHERE AVAILABLE. ACTUAL LOCATIONS OF UNDERGROUND UTILITIES MAY VARY AND UTILITIES NOT SHOWN ON THIS SURVEY MAY EXIST ON THIS SITE.
- ALL MONUMENTS WERE LOCATED DURING THIS SURVEY UNLESS OTHERWISE NOTED.

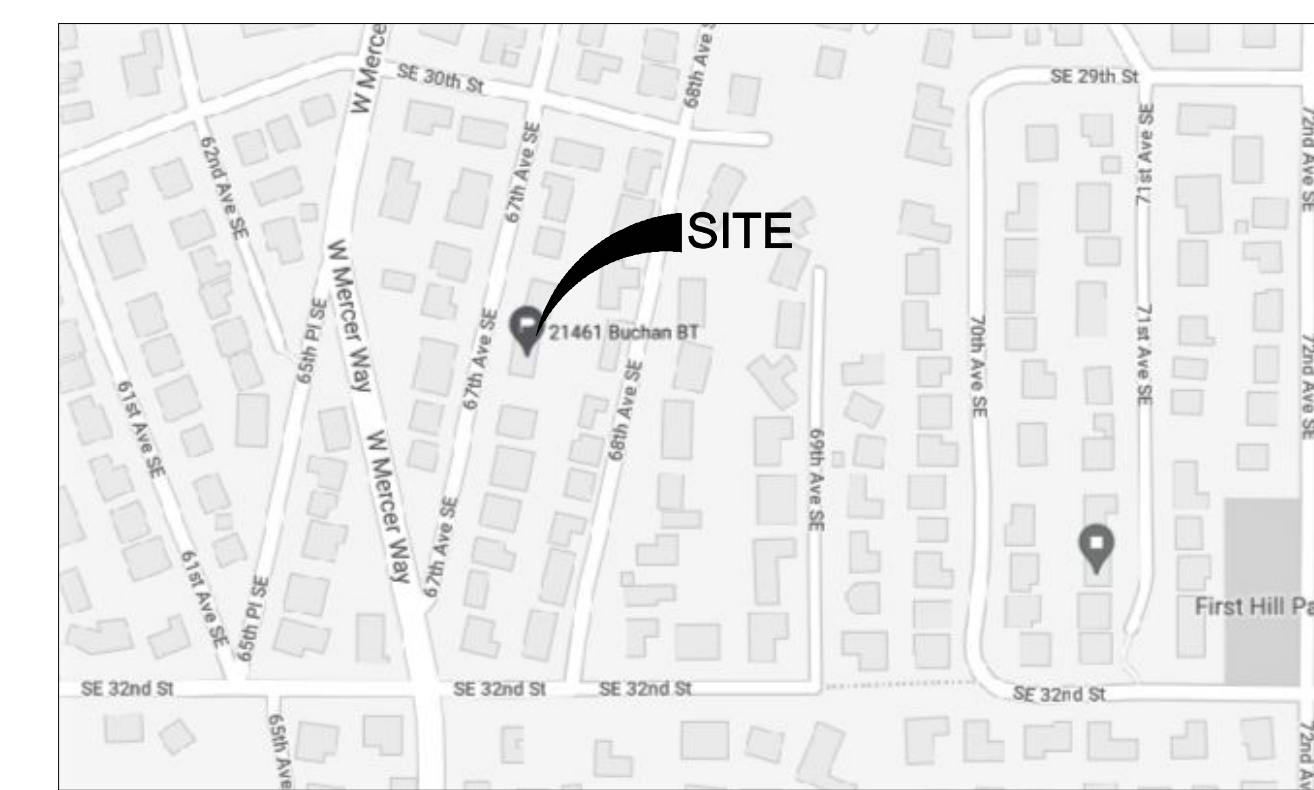
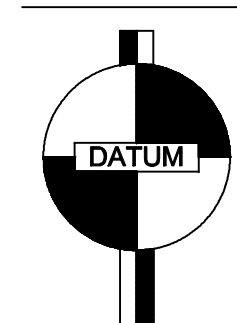
**VERTICAL DATUM & CONTOUR INTERVAL**

ELEVATIONS SHOWN ON THIS DRAWING WERE DERIVED FROM INFORMATION PROVIDED BY THE CITY OF MERCER ISLAND.

THE MARK IS A MONUMENT IN CASE AT THE INTERSECTION OF 68TH AVENUE SE W AND SE 32ND STREET.

POINT ID NO. 47748;  
ELEVATION: 112.571 FEET - NAVD 88

2.0' CONTOUR INTERVAL - THE EXPECTED VERTICAL ACCURACY IS EQUAL TO 1/2 THE CONTOUR INTERVAL OR PLUS / MINUS 1.0' FOR THIS PROJECT.



VICINITY MAP  
NTS

SW 1/4, NW 1/4, SEC 12, TWP 24N, RNG 4E, W.M.



| DATE | REVISION | DRN |
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|      |          |     |
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|      |          |     |
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**TOPOGRAPHIC SURVEY**  
WILLIAM E. BUCHAN, INC  
3036 67TH AVENUE SE  
MERCER ISLAND, WA 98040

PROJECT NO. 21-461  
DRAWN BY: EFJ  
CHECKED BY: TNW  
DATE: 8/17/21  
SHEET 1 OF 1

### SYMBOLS AND LEGEND

|  |   |
|--|---|
| <b>FAN - DIRECT VENT TO OUTSIDE</b><br>-BATHROOMS/LAUNDRY 30 CFM MIN.<br>-KITCHEN EXHAUST HOOD TO BE MIN. OF 100CFM. IF EXHAUST HOOD EXCEEDS 400 CFM MAKE UP AIR MUST BE PROVIDED PER SECTION M1003.6.   | <b>THERMOSTAT</b> @ 5'-0" ABOVE FLOOR   |
| <b>WHOLE-HOUSE FAN ON TIMER SYSTEMS TO CONFORM TO IRC, M1005.4. FAN SIZE PER PLAN. TIMER TO BE LOCATED AT THE FAN WITH A MANUAL OVERRIDE SWITCH AT THE FAN LOCATION. TIMER TO BE SET TO RUN 50% IN EACH 4-HOUR SEGMENT. FRESH AIR TO BE PROVIDED BY THE FORCED AIR SYSTEM DUCTS PER SECTION M1005.4.1.</b> | <b>MECHANICAL, PLUMBING AND ELECTRICAL SYSTEM FOR UNITS:</b> PER DIV. 15.16 SEE SHEET A-1 |
| <b>R314.2.3. A HEAT DETECTOR OR HEAT ALARM RATED FOR THE AMBIENT OUTDOOR TEMPERATURES AND HUMIDITY SHALL BE INSTALLED IN NEW GARAGES THAT ARE ATTACHED TO OR LOCATED UNDER NEW AND EXISTING DWELLINGS PER SECTION R314.2.3</b>   | <b>FURN</b> <b>WH</b>   |

### FLOOR PLAN KEY NOTES

|  |
|--|
| <b>P-1</b> OCCUPANCY SEPARATION: APPLY (1) LAYER OF 1/2" G.W.B. TO GARAGE SIDE OF RESIDENCE ATTIC SPACES. 4 TO ALL BEAMS & POSTS SUPPORTING A FLOOR-CEILING ASSEMBLY. APPLY (1) LAYER OF 1" TYPE 'X' G.W.B. TO GARAGE CEILING WHEN UNDER HABITABLE ROOMS. DUCTS THROUGH WALL OR CEILING COMMON TO HOUSE SHALL HAVE MINIMUM 26 GAUGE STEEL. SEE DIV. 05022.6.A. SHEET A-1.    |
| <b>P-2</b> 1 3/4" MIN. SELF CLOSING SOLID WOOD CORE, HONEY-COMB CORE STEEL, OR 20-MINUTE FIRE RATED DOOR W/ SELF-CLOSER. SEE DIV. 05022.6.B. SHEET A-1.  |
| <b>P-3</b> SAFETY GLAZING PER I.R.C. SECTION R308<br>A. WINDOWS WITHIN 18" OF FLOOR<br>B. WINDOWS WITHIN A 24" ARC OF DOORS<br>C. WINDOWS AT TUBS AND SHOWERS<br>D. GLAZING IN DOORS<br>E. WITHIN STAIRWELLS<br>F. LESS THAN 60" HORIZ. FROM THE BOT. STAIR TREAD NOSING, 4 BOT. EDGE OF GLAZING IS LESS THAN 36" ABV. LANDING/WALKING SURFACE<br>SEE DIV. 05022.6 SHEET A-1 |

### FLOOR PLAN KEY NOTES

|  |
|--|
| <b>P-4</b> STAIR ASSEMBLY NOTES: PER I.R.C. SECTION R315 AND DETAIL 12/D2.<br>A. HEADROOM MIN. 6'-8" WIDTH MIN. 3'-0".<br>B. TREADS 10" MIN. DEPTH AND MIN. WIDTH OF 36" ABOVE HANDRAIL HEIGHT, RISERS 7 1/4" MAX. HT. TREAD NOSING TO BE MINIMUM 3/4" AND A MAXIMUM OF 1/4" ON STAIRS W/ SOLID RISERS.<br>C. HANDRAIL MIN. 34" TO MAX 38" ABOVE TREAD NOSING. HANDRAIL TYPE I CIRCULAR TO HAVE 1 1/4" MIN. TO 2" MAX. CROSS SECTION DIMENSION AND 1 1/2" MIN. CLEAR FROM WALL. RETURN RAIL ENDS. HANDRAILS SHALL BE STRONG ENOUGH TO RESIST A 200# P.L. IN ANY DIRECTION PER I.R.C. TABLE R302.5.<br>D. INSTALL FIRE BLOCKING BETWEEN STRINGERS AT THE TOP AND BOTTOM OF EACH RUN PER I.R.C. SECTION R302.2.<br>E. COVER USABLE SPACE UNDER STAIR W/ 1/2" G.W.B. PER I.R.C. SECTION R302.1.<br>F. INTERMEDIATE BALUSTERS SHALL BE SPACED W/ LESS THAN 4" BETWEEN BALUSTERS.<br>G. PROVIDE STAIRWAY ILLUMINATION PER I.R.C. SECTION R302.6.<br>SEE DIV. 05022.6 SHEET A-1. |
|--|

### FLOOR PLAN KEY NOTES

|   |
|---|
| <b>P-5</b> EGRESS WINDOW PER I.R.C. SECTION R310 SEE DIV. 05022 SHEET A-1   |
| <b>P-6</b> IGNITERS FOR GAS FIRED APPLIANCES IN GARAGE TO BE 18" MIN. ABOVE TOP OF SLAB. SEE DIV. 15 SHEET A-1  |
| <b>P-7</b> COVER WALLS ADJACENT TO TUBS AND SHOWERS WITH NON-ABSORBENT MATERIAL TO 12" ABOVE DRAIN INLETS, PER I.R.C. SECTION 307.2. SEE DIV. 05250 SHEET A-1 |
| <b>P-8</b> (2) LAYERS OF FLOOR SHEATHING OVER FRAMING.  |
| <b>P-9</b> 1 3/4" MAX. RISER WITH 10" MIN. RUN. IF MORE THAN (3) RISERS, HANDRAIL REQUIRED PER I.R.C. SECTION R311.8. SEE DIV. 05022.1 SHEET A-1              |
| <b>P-10</b> 36"x48" CRAWL SPACE ACCESS. INSULATE AND WEATHER STRIP. SEE DIV. 05021 SHEET A-1  |
| <b>P-11</b> 22"x30" ATTIC SPACE ACCESS W/ 30" HEAD CLEARANCE. INSULATE AND WEATHER STRIP. SEE DIV. 05022 SHEET A-1  |
| <b>P-12</b> FLOOR MATERIAL BREAK LINE   |

### FLOOR PLAN KEY NOTES

|  |
|--|
| <b>P-13</b> WALL LINE ABOVE  |
| <b>P-14</b> WALL LINE BELOW  |
| <b>P-15</b> FIREPLACE ASSEMBLY NOTES:<br>A. DIRECT VENT FIREPLACES, INSTALL PER MFG. SPECIFICATIONS. SHALL CONFORM TO I.R.C. REQUIREMENTS. SEE DIV. 05022 SHEET A-1<br>B. ZERO CLEARANCE FIREPLACES SHALL CONFORM TO I.R.C. REQUIREMENTS. SEE DIV. 05022 SHEET A-1<br>C. HEARTH SHALL CONFORM TO I.R.C. REQUIREMENTS. SEE DIV. 05022.8 AND 9 SHEET A-1<br>D. FIRE-BLOCK OPENINGS AROUND PENETRATIONS AT EACH FLOOR PER I.R.C. SECTION R1003.3. |
| <b>P-16</b> SEE SITE PLAN FOR EXTENT OF WALKS AND DRIVEWAYS  |
| <b>P-17</b> 3" DIAMETER STEEL POST   |

### FLOOR PLAN KEY NOTES

|   |
|---|
| <b>P-18</b> 42" GUARDRAIL PER I.R.C. SECTION R312.4 TABLE R302.5 AT STAIRS SLOPES AT 34" ABOVE STAIR NOSING. CONTRACTOR TO VERIFY TO INSPECTOR THAT ALL GUARDRAILS ARE CAPABLE OF RESISTING 200LB LOAD ON TOP RAIL IN ANY DIRECTION PER R302.5. |
| <b>P-19</b> 1" VENT FOR MECHANICAL, 1" CLEARANCE ALL SIDES PER I.R.C. SECTION R1003.3. SEE DIV. 15 SHEET A-1  |
| <b>P-20</b> PLANT SHELF   |
| <b>P-21</b> UPPER AND LOWER LINEN CABINETS  |
| <b>P-22</b> SOFFIT AREA   |
| <b>P-23</b> INTEGRATED MAKE UP AIR  |
| <b>P-24</b> 2x6 STUDS W/ R-21 INSUL. MIN.   |

### GENERAL PLAN NOTES

- SEE SHEET A-1 FOR ALL GENERAL NOTES AND REQUIREMENTS.
- ENERGY AND AIR QUALITY INFORMATION SEE DIV. 11 SHEET A-1
- SEE BUILDING ELEVATION FOR WINDOW OPERATION SEE DIV. 8 SHEET A-1
- SEE TYP. MATERIALS LIST ON SECTION SHEET
- SEE SHEET A-1 FOR ALL NOTES AND REQUIREMENTS CONCERNING MECHANICAL, PLUMBING, AND ELECTRICAL.

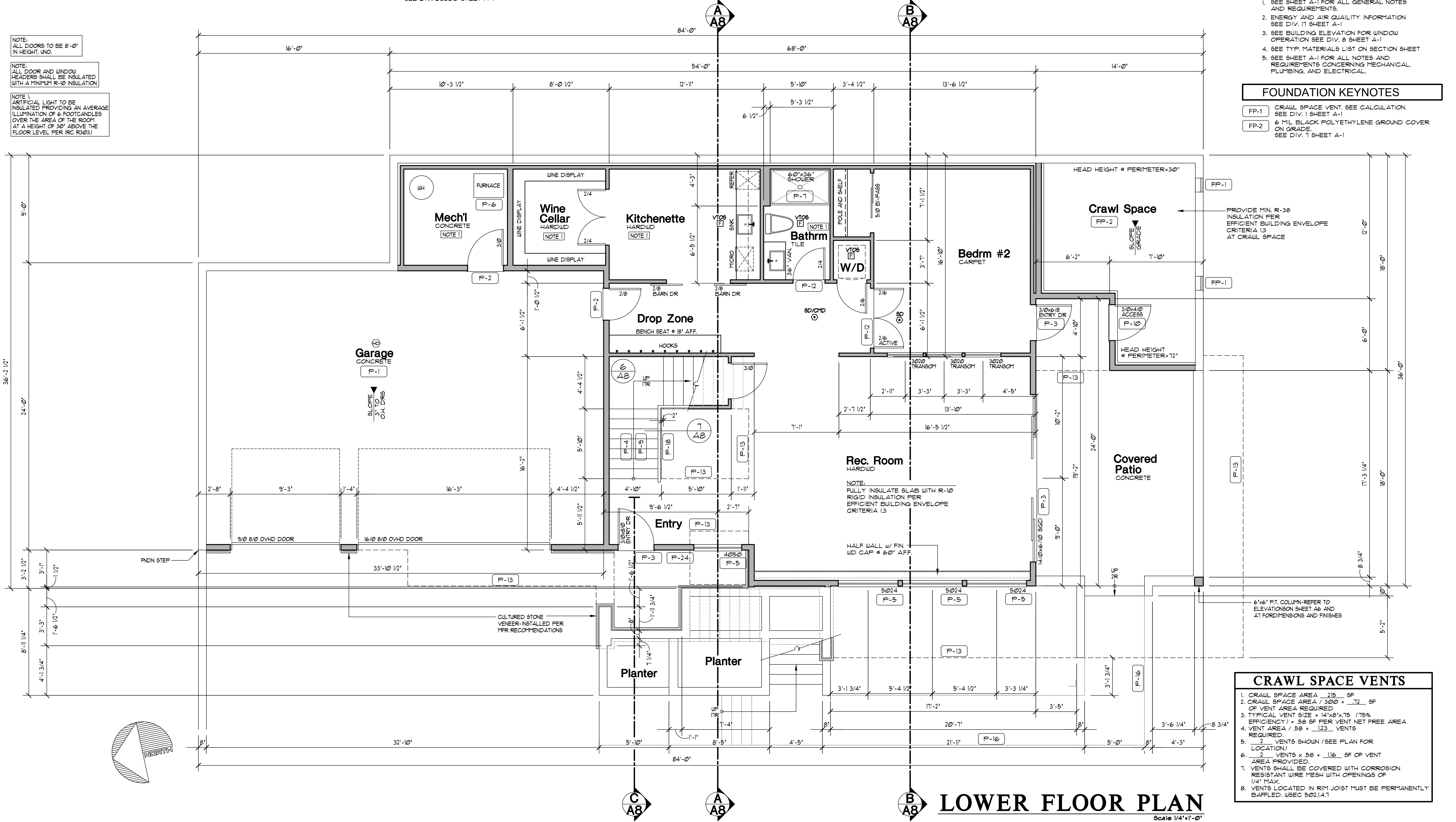
### FOUNDATION KEYNOTES

|   |
|---|
| <b>FP-1</b> CRAWL SPACE VENT. SEE CALCULATION. SEE DIV. 1 SHEET A-1               |
| <b>FP-2</b> 6" MIL BLACK POLYETHYLENE GROUND COVER ON GRADE. SEE DIV. 1 SHEET A-1 |

NOTE: ALL DOORS TO BE 8'-0" IN HEIGHT, UNO.

NOTE: ALL DOOR AND WINDOW HEADERS SHALL BE INSULATED WITH A MINIMUM R-10 INSULATION.

NOTE: ARTIFICIAL LIGHT TO BE INSULATED PROVIDING AN AVERAGE ILLUMINATION OF 6 FOOT-CANDLES OVER THE AREA OF THE ROOM AT A HEIGHT OF 30" ABOVE THE FLOOR LEVEL PER IRC R303.1



### CRAWL SPACE VENTS

- CRAWL SPACE AREA = 215 SF
- CRAWL SPACE AREA / 3000 = .072 SF OF VENT AREA REQUIRED
- TYPICAL VENT SIZE = 14"x8"x15" (75% EFFICIENCY) = 58 SF PER VENT NET FREE AREA
- VENT AREA / 58 = 1.23 VENTS REQUIRED
- 2 VENTS SHOWN (SEE PLAN FOR LOCATION)
- 2 VENTS x 58 = 116 SF OF VENT AREA PROVIDED
- VENTS SHALL BE COVERED WITH CORROSION RESISTANT WIRE MESH WITH OPENINGS OF 1/4" MAX.
- VENTS LOCATED IN RIM JOIST MUST BE PERMANENTLY BAFFLED. USE C 5021.4.1

## LOWER FLOOR PLAN

Scale 1/4"=1'-0"

|          |      |                                |
|----------|------|--------------------------------|
| APPROVED | DATE | DESCRIPTION                    |
| 8/17/23  | REY  | PERMIT SET                     |
| 8/25/23  | REY  | JURISDICTIONAL COMMENTS        |
| 10/5/23  | REY  | JURISDICTIONAL COMMENTS        |
| 11/27/23 | REY  | JURISDICTIONAL COMMENTS-CLOSED |

**Buchan Homes Westview Plan**  
Permit no. 2210-120 Mercer Island, WA  
3036 67th Ave SE  
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**ARCHITECTURAL INNOVATIONS, P.S.**  
Forward Thinking Design Solutions For Your Environment  
14311 SE 16th St  
Bellevue, WA 98007  
1-800-888-4517  
www.kapichanplans.com

TITLE

JOB NO.: 21076.21  
STARTING NO.: 21076.05

SHEET

# A2

| SYMBOLS AND LEGEND  |   |
|---|---|
| FAN - DIRECT VENT TO OUTSIDE<br>-BATHROOMS/LAUNDRY 50 CFM MIN.<br>-KITCHEN EXHAUST HOOD TO BE MIN. OF 100CFM. IF EXHAUST HOOD EXCEEDS 400 CFM MAKE UP AIR MUST BE PROVIDED PER SECTION M1503.6.   | Ⓜ THERMOSTAT @ 5'0" ABOVE FLOOR   |
| WHOLE-HOUSE FAN ON TIMER SYSTEMS TO CONFORM TO IRC, M1505.4. FAN SIZE PER PLAN. TIMER TO BE LOCATED AT THE FAN WITH A MANUAL OVERRIDE SWITCH AT THE FAN LOCATION. TIMER TO BE SET TO RUN 50% IN EACH 4-HOUR SEGMENT. FRESH AIR TO BE PROVIDED BY THE FORCED AIR SYSTEM DUCTS PER SECTION M1505.4.1. | MECHANICAL, PLUMBING, AND ELECTRICAL SYSTEM FOR UNITS. PER DIV. 15.16 SEE SHEET A-1 |
| R314.2.3. A HEAT DETECTOR OR HEAT ALARM RATED FOR THE AMBIENT OUTDOOR TEMPERATURES AND HUMIDITY SHALL BE INSTALLED IN NEW GARAGES THAT ARE ATTACHED TO OR LOCATED UNDER NEW AND EXISTING DWELLINGS PER SECTION R314.2.3   |   |

| FLOOR PLAN KEY NOTES  |  |
|---|--|
| P-1 OCCUPANCY SEPARATION: APPLY (1) LAYER OF 1/2" G.W.B. TO GARAGE SIDE OF RESIDENCE ATTIC SPACES. 4 TO ALL BEAMS & POSTS SUPPORTING A FLOOR-CEILING ASSEMBLY. APPLY (1) LAYER OF 1/2" TYPE 'X' G.W.B. TO GARAGE CEILING WHEN UNDER HABITABLE ROOMS. DUCTS THROUGH WALL OR CEILING COMMON TO HOUSE SHALL HAVE MINIMUM 26 GAUGE STEEL. SEE DIV. 05022.6.A SHEET A-1. |  |
| P-2 1 3/4" MIN. SELF CLOSING SOLID WOOD CORE, HONEY-COMB CORE STEEL, OR 20-MINUTE FIRE RATED DOOR W/ SELF-CLOSER. SEE DIV. 05022.6.B SHEET A-1.   |  |
| P-3 SAFETY GLAZING PER I.R.C. SECTION R308<br>A. WINDOWS WITHIN 18" OF FLOOR<br>B. WINDOWS WITHIN A 24" ARC OF DOORS<br>C. WINDOWS AT TUBS AND SHOWERS<br>D. GLAZING IN DOORS<br>E. WITHIN STAIRWELLS<br>F. LESS THAN 60" HORIZ. FROM THE BOT. STAIR TREAD NOSING, 4 BOT. EDGE OF GLAZING IS LESS THAN 36" ABV. LANDING/WALKING SURFACE<br>SEE DIV. 08022 SHEET A-1 |  |

| FLOOR PLAN KEY NOTES   |  |
|--|--|
| P-4 STAIR ASSEMBLY NOTES: PER I.R.C. SECTION R301.5 AND DETAIL 12/D2.<br>A. HEADROOM MIN. 6'-8" WIDTH MIN. 3'-0".<br>B. TREADS 10" MIN. DEPTH AND MIN. WIDTH OF 36" ABOVE HANDRAIL HEIGHT, RISERS 7 1/4" MAX. HT. TREAD NOSING TO BE MINIMUM 3/4" AND A MAXIMUM OF 1/4" ON STAIRS W/ SOLID RISERS.<br>C. HANDRAIL MIN. 34" TO MAX 38" ABOVE TREAD NOSING. HANDRAIL TYPE I CIRCULAR TO HAVE 1 1/4" MIN. TO 2" MAX. CROSS SECTION DIMENSION AND 1 1/2" MIN. CLEAR FROM WALL. RETURN RAIL ENDS. HANDRAILS SHALL BE STRONG ENOUGH TO RESIST A 200# P.L. IN ANY DIRECTION PER I.R.C. TABLE R302.1.<br>D. INSTALL FIRE BLOCKING BETWEEN STRINGERS AT THE TOP AND BOTTOM OF EACH RUN PER I.R.C. SECTION R302.11.<br>E. COVER USABLE SPACE UNDER STAIR W/ 1/2" G.W.B. PER I.R.C. SECTION R302.1.<br>F. INTERMEDIATE BALUSTERS SHALL BE SPACED W/ LESS THAN 4" BETWEEN BALUSTERS.<br>G. PROVIDE STAIRWAY ILLUMINATION PER I.R.C. SECTION R302.6.<br>SEE DIV. 05022.6 SHEET A-1. |  |

| FLOOR PLAN KEY NOTES   |  |
|--|--|
| P-5 EGRESS WINDOW PER I.R.C. SECTION R310 SEE DIV. 08020 SHEET A-1   |  |
| P-6 IGNITERS FOR GAS FIRED APPLIANCES IN GARAGE TO BE 18" MIN. ABOVE TOP OF SLAB. SEE DIV. 15 SHEET A-1  |  |
| P-7 COVER WALLS ADJACENT TO TUBS AND SHOWERS WITH NON-ABSORBENT MATERIAL TO 12" ABOVE DRAIN INLETS. PER I.R.C. SECTION 307.2. SEE DIV. 05250 SHEET A-1 |  |
| P-8 (2) LAYERS OF FLOOR SHEATHING OVER FRAMING.  |  |
| P-9 1 3/4" MAX. RISER WITH 10" MIN. RUN. IF MORE THAN (3) RISERS, HANDRAIL REQUIRED PER I.R.C. SECTION R301.5. SEE DIV. 05022.1 SHEET A-1              |  |
| P-10 36"x48" CRAWL SPACE ACCESS. INSULATE AND WEATHER STRIP. SEE DIV. 05022.1 SHEET A-1  |  |
| P-11 22"x30" ATTIC SPACE ACCESS W/ 30" HEAD CLEARANCE. INSULATE AND WEATHER STRIP. SEE DIV. 05022.2 SHEET A-1  |  |
| P-12 FLOOR MATERIAL BREAK LINE   |  |

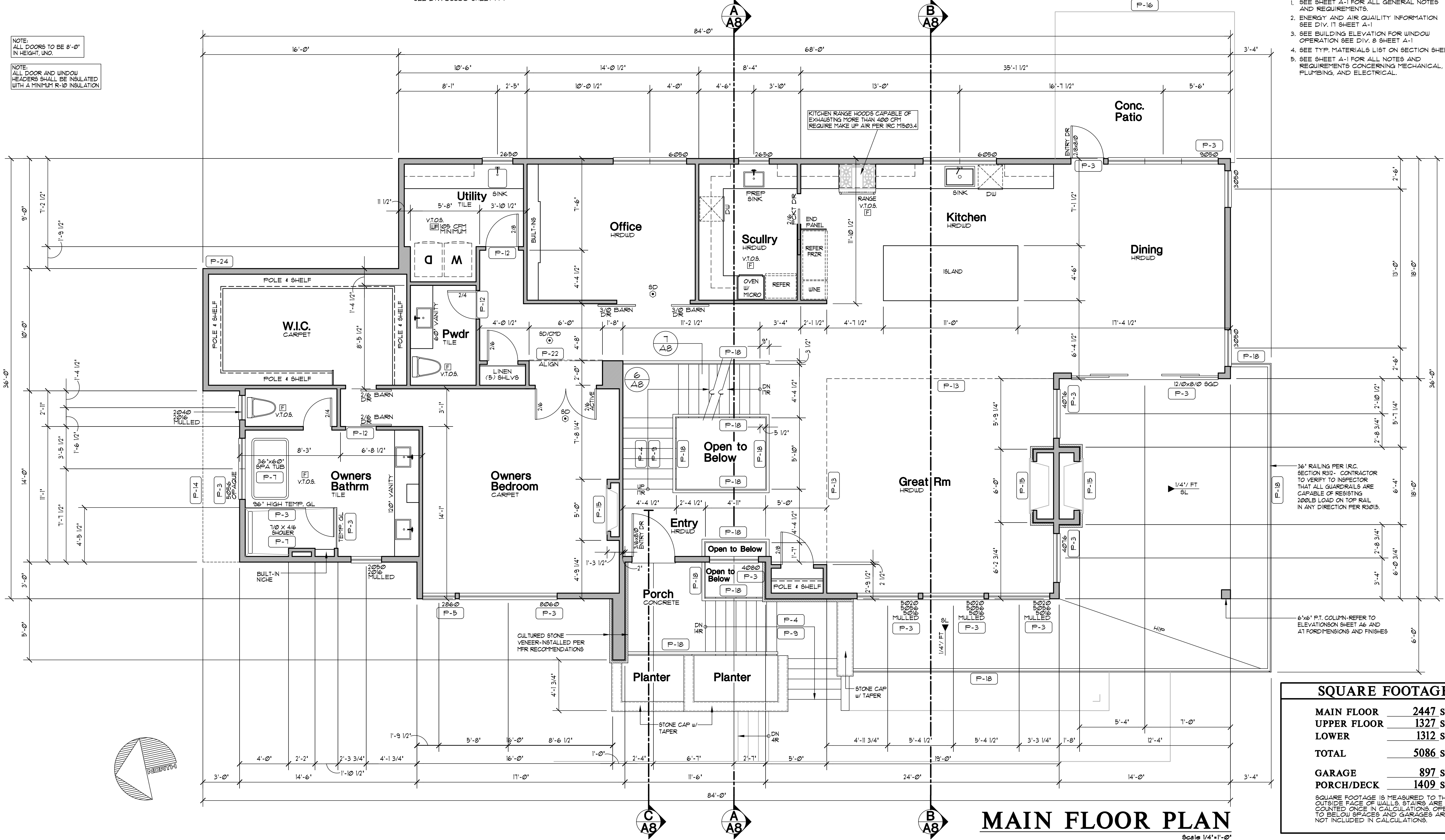
| FLOOR PLAN KEY NOTES   |  |
|--|--|
| P-13 WALL LINE ABOVE   |  |
| P-14 WALL LINE BELOW   |  |
| P-15 FIREPLACE ASSEMBLY NOTES:<br>A. DIRECT VENT FIREPLACES, INSTALL PER MFG. SPECIFICATIONS. SHALL CONFORM TO I.R.C. REQUIREMENTS. SEE DIV. 05022.8 SHEET A-1<br>B. ZERO CLEARANCE FIREPLACES SHALL CONFORM TO I.R.C. REQUIREMENTS. SEE DIV. 05022.8 SHEET A-1<br>C. HEARTH SHALL CONFORM TO I.R.C. REQUIREMENTS. SEE DIV. 05022.8 AND 9 SHEET A-1<br>D. FIRE-BLOCK OPENINGS AROUND PENETRATIONS AT EACH FLOOR PER I.R.C. SECTION R1002.13. |  |
| P-16 SEE SITE PLAN FOR EXTENT OF WALKS AND DRIVEWAYS   |  |
| P-17 3" DIAMETER STEEL POST  |  |

| FLOOR PLAN KEY NOTES   |  |
|--|--|
| P-18 42" GUARDRAIL PER I.R.C. SECTION R312.4 TABLE R301.5 AT STAIRS SLOPES AT 34" ABOVE STAIR NOSING. CONTRACTOR TO VERIFY TO INSPECTOR THAT ALL GUARDRAILS ARE CAPABLE OF RESISTING 200LB LOAD ON TOP RAIL IN ANY DIRECTION PER R301.5. |  |
| P-19 18" VENT FOR MECHANICAL, 1" CLEARANCE ALL SIDES PER I.R.C. SECTION R1002.3. SEE DIV. 15 SHEET A-1   |  |
| P-20 PLANT SHELF   |  |
| P-21 UPPER AND LOWER LINEN CABINETS  |  |
| P-22 SOFFIT AREA   |  |
| P-23 INTEGRATED MAKE UP AIR  |  |
| P-24 2x6 STUDS W/ R-21 INSUL. MIN.   |  |

| GENERAL PLAN NOTES   |  |
|--|--|
| 1. SEE SHEET A-1 FOR ALL GENERAL NOTES AND REQUIREMENTS.   |  |
| 2. ENERGY AND AIR QUALITY INFORMATION SEE DIV. 11 SHEET A-1                                      |  |
| 3. SEE BUILDING ELEVATION FOR WINDOW OPERATION SEE DIV. 8 SHEET A-1                              |  |
| 4. SEE TYP. MATERIALS LIST ON SECTION SHEET  |  |
| 5. SEE SHEET A-1 FOR ALL NOTES AND REQUIREMENTS CONCERNING MECHANICAL, PLUMBING, AND ELECTRICAL. |  |

NOTE: ALL DOORS TO BE 8'-0" IN HEIGHT, UNO.

NOTE: ALL DOOR AND WINDOW HEADERS SHALL BE INSULATED WITH A MINIMUM R-10 INSULATION



| SQUARE FOOTAGE |         |
|----------------|---------|
| MAIN FLOOR     | 2447 SF |
| UPPER FLOOR    | 1327 SF |
| LOWER          | 1312 SF |
| TOTAL          | 5086 SF |
| GARAGE         | 897 SF  |
| PORCH/DECK     | 1409 SF |

SQUARE FOOTAGE IS MEASURED TO THE OUTSIDE FACE OF WALLS. STAIRS ARE COUNTED ONCE IN CALCULATIONS. OPEN TO BELOW SPACES AND GARAGES ARE NOT INCLUDED IN CALCULATIONS.

# MAIN FLOOR PLAN

Scale 1/4"=1'-0"

**Buchan Homes Westview Plan**

Permit no. 2210-120 Mercer Island, WA  
3036 67th Ave SE

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| Date     | By  | Description                     |
|----------|-----|---------------------------------|
| 10/12/22 | REV | PERMIT SET                      |
| 8/17/23  | REV | JURISDICTIONAL COMMENTS         |
| 8/25/23  | REV | JURISDICTIONAL COMMENTS         |
| 10/5/23  | REV | JURISDICTIONAL COMMENTS         |
| 11/22/23 | REV | JURISDICTIONAL COMMENTS-CLOUDED |

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| TITLE                                       |
|---|
| JOB NO.: 21076.21<br>STARTING NO.: 21076.05 |

| SHEET |
|-------|
| A3    |

| SYMBOLS AND LEGEND  |   |
|---|---|
| FAN - DIRECT VENT TO OUTSIDE<br>-BATHROOMS/LAUNDRY 90 CFM MIN.<br>-KITCHEN EXHAUST HOOD TO BE MIN. OF 100CFM. IF EXHAUST HOOD EXCEEDS 400 CFM MAKE UP AIR MUST BE PROVIDED PER SECTION M1503.6.   | Ⓜ THERMOSTAT @ 5'0" ABOVE FLOOR   |
| Ⓜ WHOLE-HOUSE FAN ON TIMER SYSTEMS TO CONFORM TO IRC, M1505.4. FAN SIZE PER PLAN, TIMER TO BE LOCATED AT THE FAN WITH A MANUAL OVERRIDE SWITCH AT THE FAN LOCATION. TIMER TO BE SET TO RUN 50% IN EACH 4-HOUR SEGMENT. FRESH AIR TO BE PROVIDED BY THE FORCED AIR SYSTEM DUCTS PER SECTION M1505.4.1. | MECHANICAL, PLUMBING, AND ELECTRICAL SYSTEM FOR UNITS. PER DIV. 15.16 SEE SHEET A-1 |
| R314.2.3. A HEAT DETECTOR OR HEAT ALARM RATED FOR THE AMBIENT OUTDOOR TEMPERATURES AND HUMIDITY SHALL BE INSTALLED IN NEW GARAGES THAT ARE ATTACHED TO OR LOCATED UNDER NEW AND EXISTING DWELLINGS PER SECTION R314.2.3   | FURN  |

| FLOOR PLAN KEY NOTES  |  |
|---|--|
| P-1 OCCUPANCY SEPARATION: APPLY (1) LAYER OF 1/2" G.W.B. TO GARAGE SIDE OF RESIDENCE ATTIC SPACES. 4 TO ALL BEAMS & POSTS SUPPORTING A FLOOR-CEILING ASSEMBLY. APPLY (1) LAYER OF 1/2" TYPE 'X' G.W.B. TO GARAGE CEILING WHEN UNDER HABITABLE ROOMS. DUCTS THROUGH WALL OR CEILING COMMON TO HOUSE SHALL HAVE MINIMUM 26 GAUGE STEEL. SEE DIV. 01022.6.A. SHEET A-1.  | P-2 1 3/4" MIN. SELF CLOSING SOLID WOOD CORE, HONEY-COMB CORE STEEL, OR 20-MINUTE FIRE RATED DOOR W/ SELF-CLOSER. SEE DIV. 01022.6.B. SHEET A-1. |
| P-3 SAFETY GLAZING PER I.R.C. SECTION R308<br>A. WINDOWS WITHIN 18" OF FLOOR<br>B. WINDOWS WITHIN A 24" ARC OF DOORS<br>C. WINDOWS AT TUBS AND SHOWERS<br>D. GLAZING IN DOORS<br>E. WITHIN STAIRWELLS<br>F. LESS THAN 60" HORIZ. FROM THE BOT. STAIR TREAD NOSING, 4 BOT. EDGE OF GLAZING IS LESS THAN 36" ABV. LANDING/WALKING SURFACE<br>SEE DIV. 01022.6 SHEET A-1 |  |

| FLOOR PLAN KEY NOTES  |  |
|---|--|
| P-4 STAIR ASSEMBLY NOTES: PER I.R.C. SECTION R315 AND DETAIL 12/D2.<br>A. HEADROOM MIN. 6'-8". WIDTH MIN. 3'-0".<br>B. TREADS 10" MIN. DEPTH AND MIN. WIDTH OF 36" ABOVE HANDRAIL HEIGHT, RISERS 7 1/4" MAX. HT. TREAD NOSING TO BE MINIMUM 3/4" AND A MAXIMUM OF 1/4" ON STAIRS W/ SOLID RISERS.<br>C. HANDRAIL MIN. 34" TO MAX 38" ABOVE TREAD NOSING. HANDRAIL TYPE I CIRCULAR TO HAVE 1 1/4" MIN. TO 2" MAX. CROSS SECTION DIMENSION AND 1 1/2" MIN. CLEAR FROM WALL. RETURN RAIL ENDS. HANDRAILS SHALL BE STRONG ENOUGH TO RESIST A 200# P.L. IN ANY DIRECTION PER I.R.C. TABLE R302.5.<br>D. INSTALL FIRE BLOCKING BETWEEN STRINGERS AT THE TOP AND BOTTOM OF EACH RUN PER I.R.C. SECTION R302.11.<br>E. COVER USABLE SPACE UNDER STAIR W/ 1/2" G.W.B. PER I.R.C. SECTION R302.1.<br>F. INTERMEDIATE BALUSTERS SHALL BE SPACED W/ LESS THAN 4" BETWEEN BALUSTERS.<br>G. PROVIDE STAIRWAY ILLUMINATION PER I.R.C. SECTION R302.6.<br>SEE DIV. 01022.6 SHEET A-1. |  |

| FLOOR PLAN KEY NOTES  |   |
|---|---|
| P-5 EGRESS WINDOW PER I.R.C. SECTION R310 SEE DIV. 08600 SHEET A-1  | P-6 IGNITERS FOR GAS FIRED APPLIANCES IN GARAGE TO BE 18" MIN. ABOVE TOP OF SLAB. SEE DIV. 15 SHEET A-1 |
| P-7 COVER WALLS ADJACENT TO TUBS AND SHOWERS WITH NON-ABSORBENT MATERIAL TO 12" ABOVE DRAIN INLETS. PER I.R.C. SECTION 3012. SEE DIV. 09250 SHEET A-1 | P-8 (2) LAYERS OF FLOOR SHEATHING OVER FRAMING.   |
| P-9 1 3/4" MAX. RISER WITH 10" MIN. RUN, IF MORE THAN (3) RISERS, HANDRAIL REQUIRED PER I.R.C. SECTION R311.8. SEE DIV. 01022.1 SHEET A-1             | P-10 36"x48" CRAWL SPACE ACCESS. INSULATE AND WEATHER STRIP. SEE DIV. 01022.1 SHEET A-1                 |
| P-11 22"x30" ATTIC SPACE ACCESS W/ 30" HEAD CLEARANCE. INSULATE AND WEATHER STRIP. SEE DIV. 01022.2 SHEET A-1   | P-12 FLOOR MATERIAL BREAK LINE  |

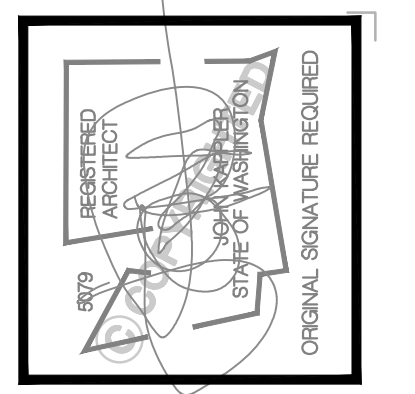
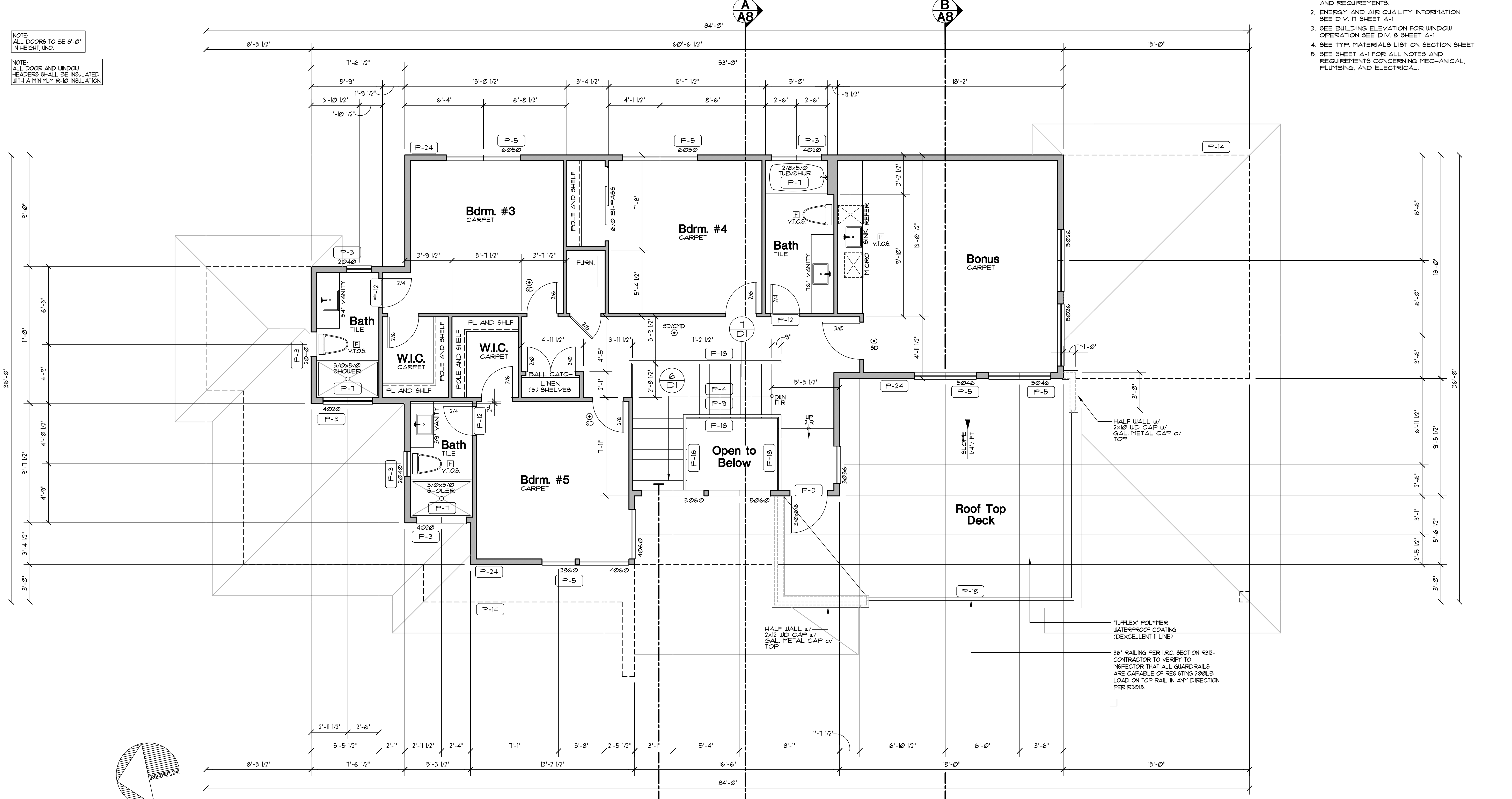
| FLOOR PLAN KEY NOTES  |                             |
|---|-----------------------------|
| P-13 WALL LINE ABOVE  | P-14 WALL LINE BELOW        |
| FIREPLACE ASSEMBLY NOTES:<br>A. DIRECT VENT FIREPLACES, INSTALL PER MFG. SPECIFICATIONS. SHALL CONFORM TO I.R.C. REQUIREMENTS. SEE DIV. 01022.8 SHEET A-1<br>B. ZERO CLEARANCE FIREPLACES SHALL CONFORM TO I.R.C. REQUIREMENTS. SEE DIV. 01022.8 SHEET A-1<br>C. HEARTH SHALL CONFORM TO I.R.C. REQUIREMENTS. SEE DIV. 01022.8 AND 9 SHEET A-1<br>D. FIRE-BLOCK OPENINGS AROUND PENETRATIONS AT EACH FLOOR PER I.R.C. SECTION R1002.13. |                             |
| P-16 SEE SITE PLAN FOR EXTENT OF WALKS AND DRIVEWAYS  | P-17 3" DIAMETER STEEL POST |

| FLOOR PLAN KEY NOTES   |   |
|--|---|
| P-18 42" GUARDRAIL PER I.R.C. SECTION R312.4 TABLE R302.5 AT STAIRS SLOPES AT 34" ABOVE STAIR NOSING. CONTRACTOR TO VERIFY TO INSPECTOR THAT ALL GUARDRAILS ARE CAPABLE OF RESISTING 200LB LOAD ON TOP RAIL IN ANY DIRECTION PER R302.5. | P-19 8" VENT FOR MECHANICAL, 1" CLEARANCE ALL SIDES PER I.R.C. SECTION R1002.3. SEE DIV. 15 SHEET A-1 |
| P-20 PLANT SHELF   | P-21 UPPER AND LOWER LINEN CABINETS   |
| P-22 SOFFIT AREA   | P-23 INTEGRATED MAKE UP AIR   |
| P-24 2x6 STUDS W/ R-21 INSUL. MIN.   |   |

| GENERAL PLAN NOTES   |   |
|--|---|
| 1. SEE SHEET A-1 FOR ALL GENERAL NOTES AND REQUIREMENTS.   | 2. ENERGY AND AIR QUALITY INFORMATION SEE DIV. 11 SHEET A-1 |
| 3. SEE BUILDING ELEVATION FOR WINDOW OPERATION SEE DIV. 8 SHEET A-1                              | 4. SEE TYP. MATERIALS LIST ON SECTION SHEET                 |
| 5. SEE SHEET A-1 FOR ALL NOTES AND REQUIREMENTS CONCERNING MECHANICAL, PLUMBING, AND ELECTRICAL. |   |

NOTE:  
ALL DOORS TO BE 8'-0" IN HEIGHT, UNO.

NOTE:  
ALL DOOR AND WINDOW HEADERS SHALL BE INSULATED WITH A MINIMUM R-10 INSULATION



| Date     | By  | Description                    |
|----------|-----|--------------------------------|
| 10/22/21 | REY | PERMIT SET                     |
| 8/17/23  | REY | JURISDICTIONAL COMMENTS        |
| 8/25/23  | REY | JURISDICTIONAL COMMENTS        |
| 10/5/23  | REY | JURISDICTIONAL COMMENTS        |
| 11/27/23 | REY | JURISDICTIONAL COMMENTS-CLOUED |

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**Westview Plan**  
 Permit no. 2210-120  
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| TITLE                  |
|------------------------|
| JOB NO.: 21076.21      |
| STARTING NO.: 21076.05 |

SHEET  
**A4**

**UPPER FLOOR PLAN**  
 Scale 1/4"=1'-0"

**A ROOF VENT CALCULATION**

|  |               |              |                          |
|--|---------------|--------------|--------------------------|
| TOTAL ROOF AREA                            | 1433 SF / 150 | =            | 9.55 SF OF VENT AREA REQ |
| 4 ROOF JACKS AT 38 SQ. IN. EACH            | =             | 152 SQ. IN.  | = 105 SF                 |
| 197 L.F. OF EAVE VENTS AT 6.6 SQ. IN./L.F. | =             | 1300 SQ. IN. | = 9 SF                   |
| TOTAL SF OF VENTILATION PROVIDED           |               | =            | 131 SF                   |

**B ROOF VENT CALCULATION**

|   |              |              |                          |
|---|--------------|--------------|--------------------------|
| TOTAL ROOF AREA                           | 325 SF / 150 | =            | 2.16 SF OF VENT AREA REQ |
| 0.00 ROOF JACKS AT 38 SQ. IN. EACH        | =            | 0.00 SQ. IN. | = 0.00 SF                |
| 74 L.F. OF EAVE VENTS AT 6.6 SQ. IN./L.F. | =            | 488 SQ. IN.  | = 339 SF                 |
| TOTAL SF OF VENTILATION PROVIDED          |              | =            | 339 SF                   |

**C ROOF VENT CALCULATION**

|   |              |             |                         |
|---|--------------|-------------|-------------------------|
| TOTAL ROOF AREA                           | 540 SF / 150 | =           | 3.6 SF OF VENT AREA REQ |
| 2 ROOF JACKS AT 38 SQ. IN. EACH           | =            | 76 SQ. IN.  | = 53 SF                 |
| 72 L.F. OF EAVE VENTS AT 6.6 SQ. IN./L.F. | =            | 475 SQ. IN. | = 33 SF                 |
| TOTAL SF OF VENTILATION PROVIDED          |              | =           | 383 SF                  |

**D ROOF VENT CALCULATION**

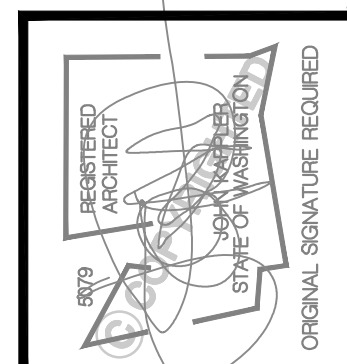
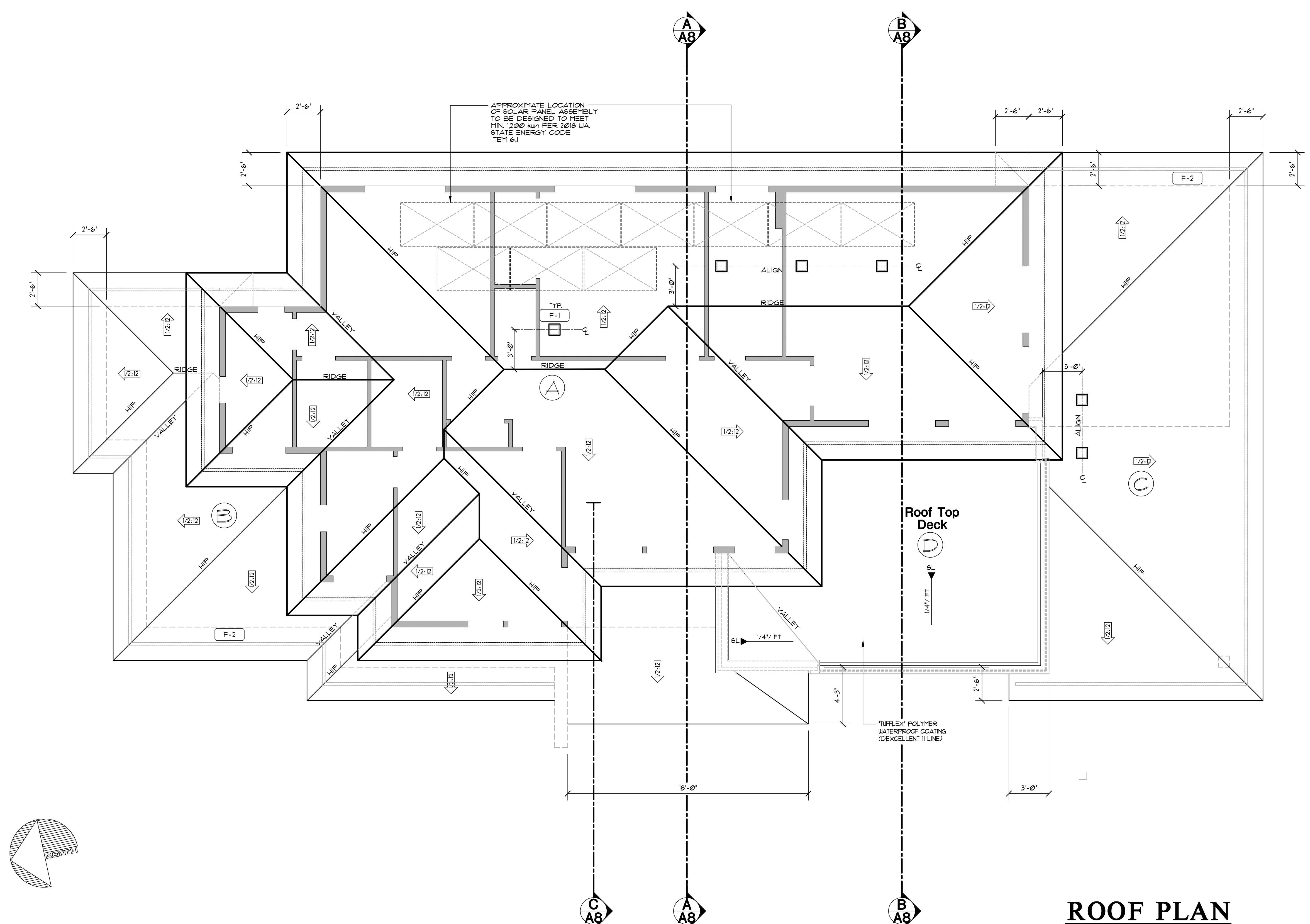
|   |             |              |                         |
|---|-------------|--------------|-------------------------|
| TOTAL ROOF AREA                           | 83 SF / 150 | =            | .55 SF OF VENT AREA REQ |
| 0.00 ROOF JACKS AT 38 SQ. IN. EACH        | =           | 0.00 SQ. IN. | = 0.00 SF               |
| 33 L.F. OF EAVE VENTS AT 3.3 SQ. IN./L.F. | =           | 108 SQ. IN.  | = .76 SF                |
| TOTAL SF OF VENTILATION PROVIDED          |             | =            | .31 SF                  |

**GENERAL PLAN NOTES**

- SEE SHEET A-1 FOR ALL GENERAL NOTES AND REQUIREMENTS.
- ENERGY AND AIR QUALITY INFORMATION SEE DIV. IT SHEET A-1
- SEE BUILDING ELEVATION FOR WINDOW OPERATION SEE DIV. B SHEET A-1
- SEE TYP. MATERIALS LIST ON SECTION SHEET
- SEE SHEET A-1 FOR ALL NOTES AND REQUIREMENTS CONCERNING MECHANICAL, PLUMBING, AND ELECTRICAL.

**ROOF PLAN KEY NOTES**

- F-1 ATTIC SPACE VENT SEE CALCULATION SEE DIV. 01007.3.B SHEET A-1
- F-2 WALL LINE BELOW



| Date     | By  | Description                    |
|----------|-----|--------------------------------|
| 10/12/22 | REY | PERMIT SET                     |
| 8/17/23  | REY | JURISDICTIONAL COMMENTS        |
| 8/25/23  | REY | JURISDICTIONAL COMMENTS        |
| 10/5/23  | REY | JURISDICTIONAL COMMENTS        |
| 10/27/23 | REY | JURISDICTIONAL COMMENTS-CLOUED |

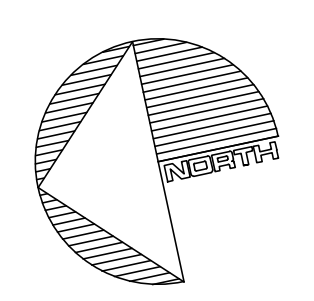
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| TITLE         |          |
| JOB NO.:      | 21076.21 |
| STARTING NO.: | 21076.05 |

SHEET  
**A5**

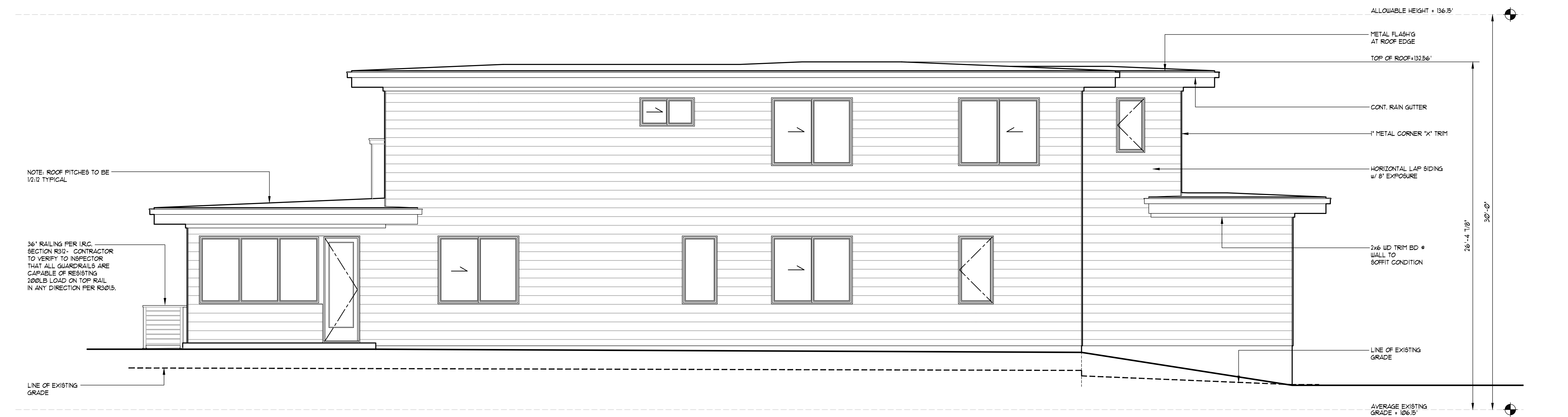
**ROOF PLAN**  
 SCALE 1/4"=1'-0"





### FRONT ELEVATION

Scale 1/4"=1'-0"



### REAR ELEVATION

Scale 1/4"=1'-0"

#### TYPICAL BUILDING MATERIALS

##### ROOF CONSTRUCTION

ROOFING: (DIV. 7)  
BUILDING PAPER: (DIV. 7)  
SHEATHING: (DIV. 6)  
FRAMING: (DIV. 6)  
INSULATION: (DIV. 7)  
SOFFIT: (DIV. 7)  
GWB: (DIV. 9)

SHINGLES (DIV. 01000.5)  
3/4" BUILDING PAPER  
7/16" O.S.B. OR EQUAL  
PER PLAN  
R-49 BLOWN-IN  
1/2" RE-SAWN PLYWOOD  
5/8" GWB

##### EXTERIOR WALL CONSTRUCTION

SIDING MATERIAL: (DIV. 7)  
BUILDING WRAP: (DIV. 7)  
SHEATHING: (DIV. 6)  
FRAMING: (DIV. 6)  
INSULATION: (DIV. 7)  
GWB: (DIV. 9)

WOOD SIDING (DIV. 01000.5)  
1/2" BUILDING PAPER  
1/2" CDX PLYWOOD OR EQUAL  
2 X 6 STUDS AT 16" OC  
R-21 BATT W/ INTEGRAL  
VAPOR BARRIER  
1/2" GWB

##### FLOOR CONSTRUCTION

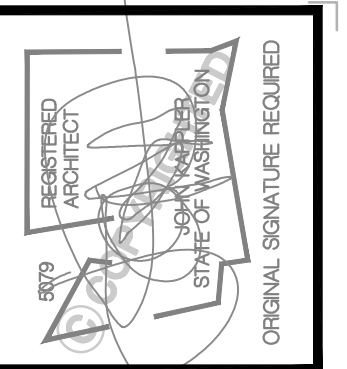
FLOORING: (DIV. 9)  
SUBFLOOR: (DIV. 6)  
FRAMING: (DIV. 6)  
INSULATION: (DIV. 7)  
SOFFIT: (DIV. 7)

FINISH PER PLANS (DIV. 01000.5)  
3/4" TAG (PLYWD, COMPLY, OR BQ)  
PER PLANS  
R-30 BATT  
1/2" RE-SAWN PLYWOOD

##### TRIM:(DIV. 6)

WINDOW:  
(WITH NO BRICK MOLD)  
CORNER BOARDS:  
FASCIA:

HEAD: N/A  
JAMB: N/A  
SILL: N/A  
INSIDE: 2x2  
OUTSIDE: METAL 7x  
2x8 UNO



| Date     | By  | Description                    |
|----------|-----|--------------------------------|
| 07/02/22 | REV | PERMIT SET                     |
| 07/02/22 | REV | JURISDICTIONAL COMMENTS        |
| 02/22/23 | REV | JURISDICTIONAL COMMENTS        |
| 02/22/23 | REV | JURISDICTIONAL COMMENTS        |
| 11/27/23 | REV | JURISDICTIONAL COMMENTS-CLOSED |

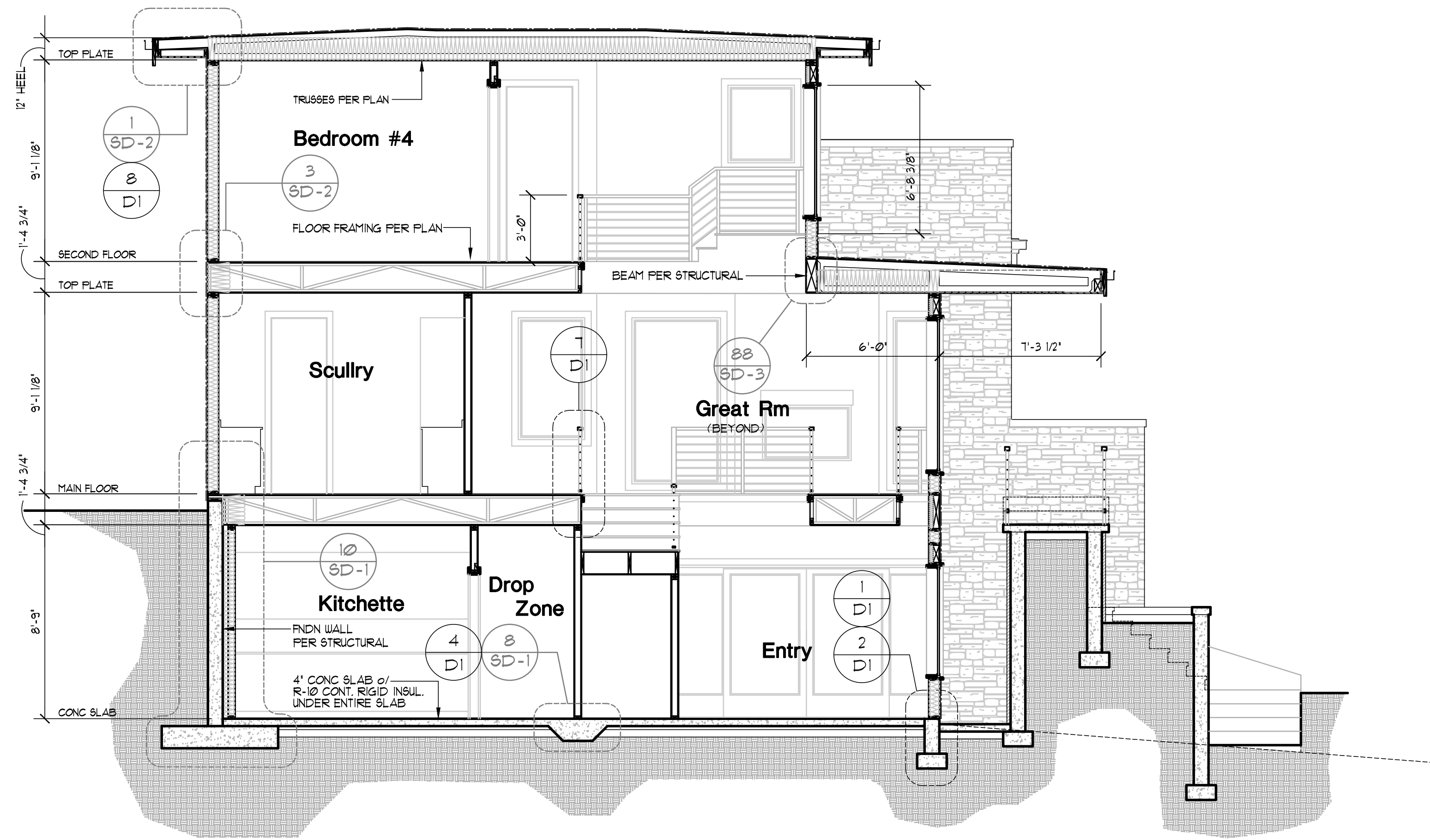
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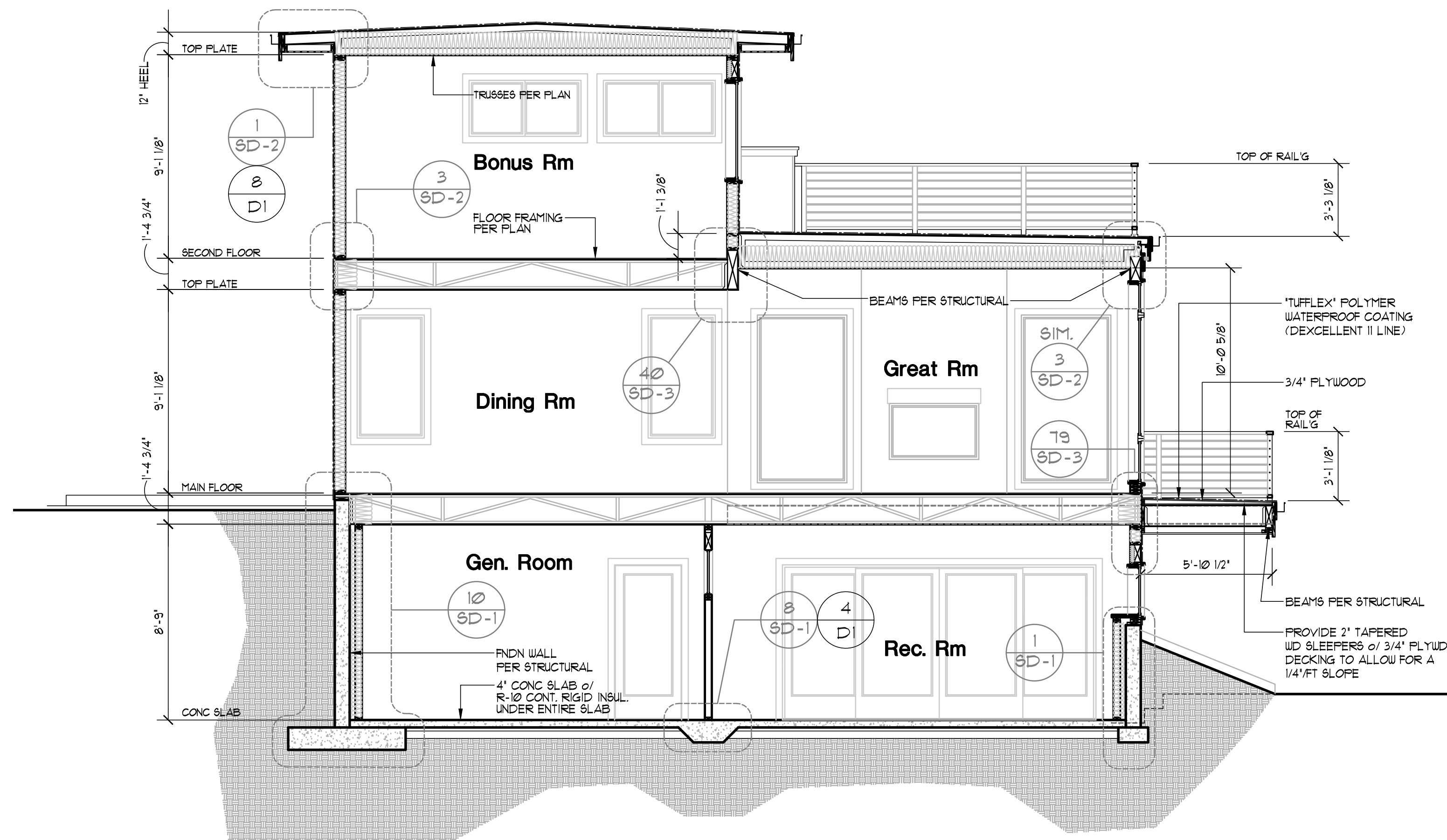
SHEET  
**A6**





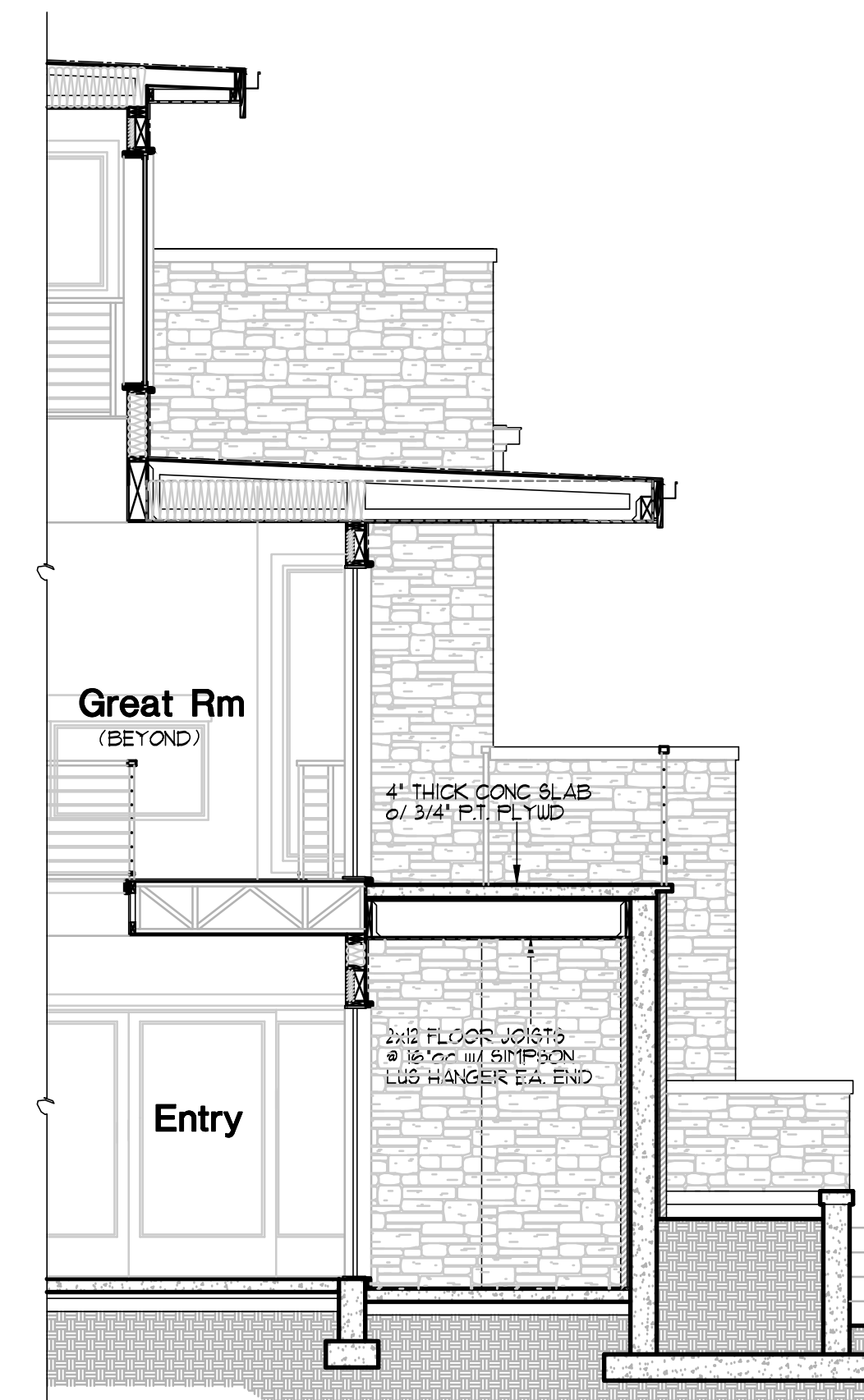
**BUILDING SECTION A-A**

Scale 1/4"=1'-0"



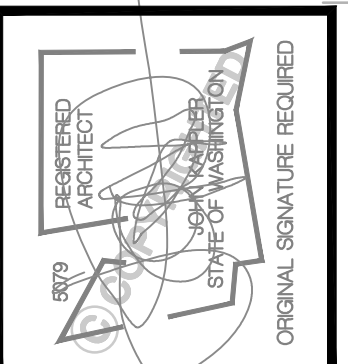
**BUILDING SECTION B-B**

Scale 1/4"=1'-0"



**BUILDING SECTION C-C**

Scale 1/4"=1'-0"



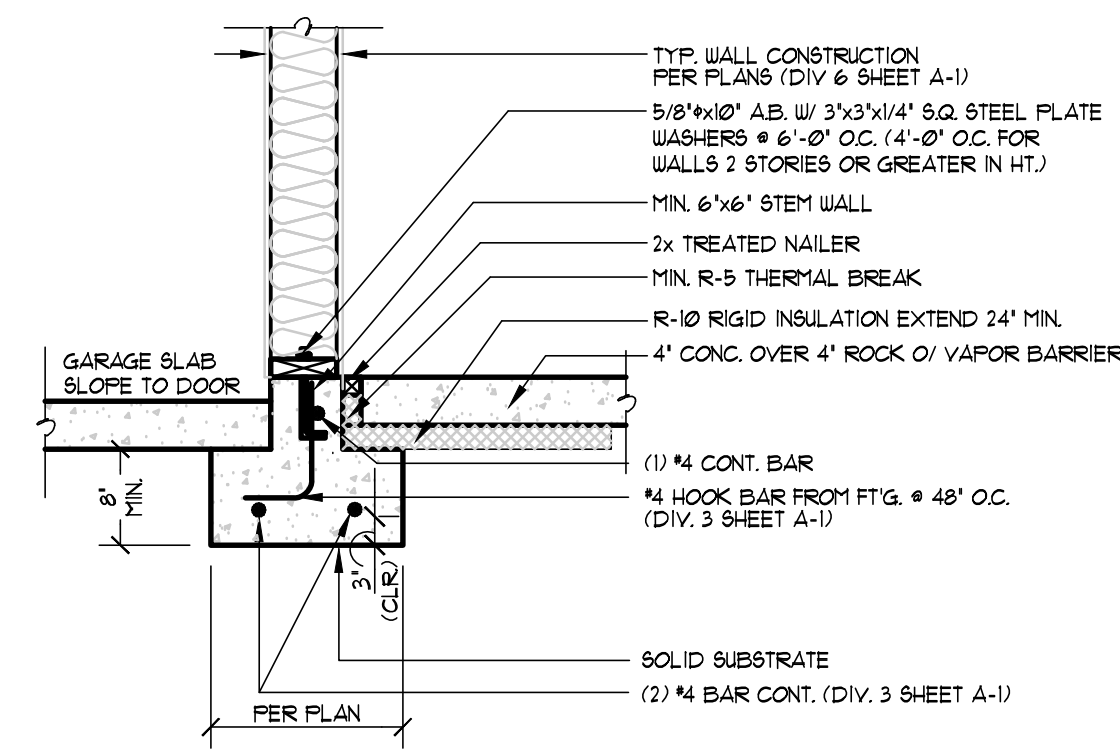
| Date     | By  | Description                    |
|----------|-----|--------------------------------|
| 01/12/22 | REV | PERMIT SET                     |
| 01/12/22 | REV | JURISDICTIONAL COMMENTS        |
| 02/25/23 | REV | JURISDICTIONAL COMMENTS        |
| 02/25/23 | REV | JURISDICTIONAL COMMENTS        |
| 11/27/23 | REV | JURISDICTIONAL COMMENTS-CLOSED |

**Buchan Homes**  
**Westview Plan**  
 Permit no. 2210-120  
 Mercer Island, WA  
 3036 67th Ave SE  
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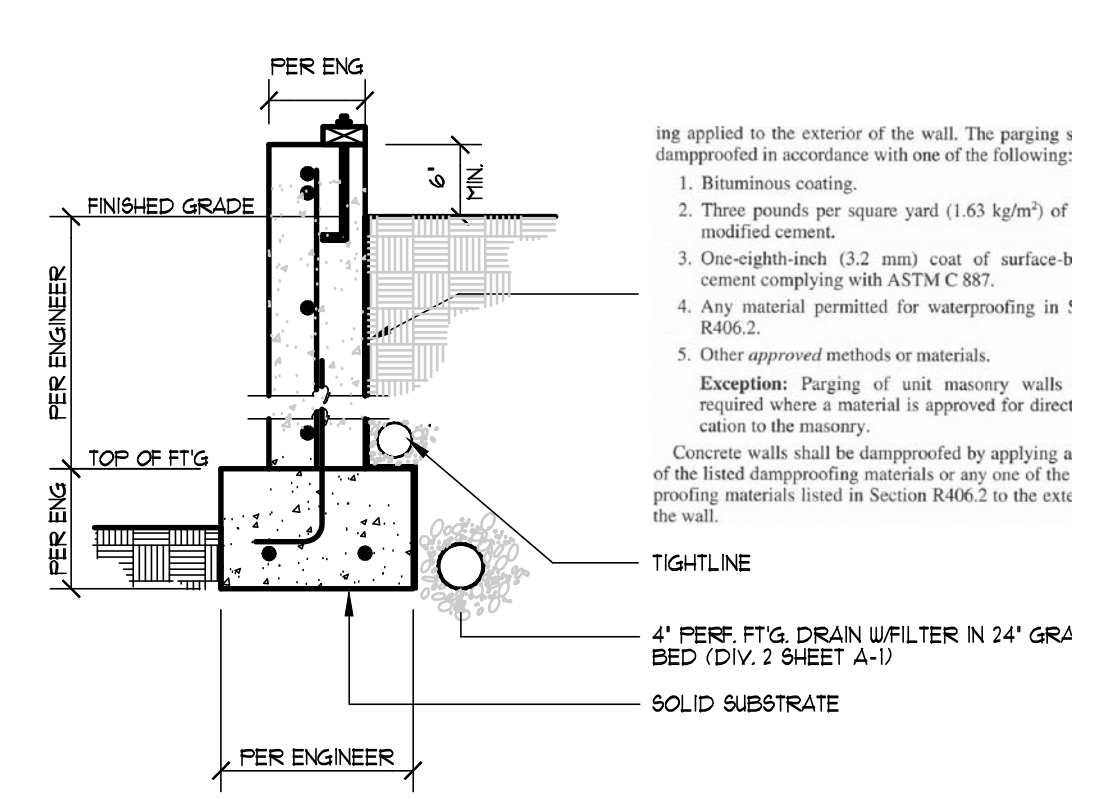
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 Bellevue, WA 98007  
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| TITLE                  |
|------------------------|
| JOB NO.: 21076.21      |
| STARTING NO.: 21076.05 |

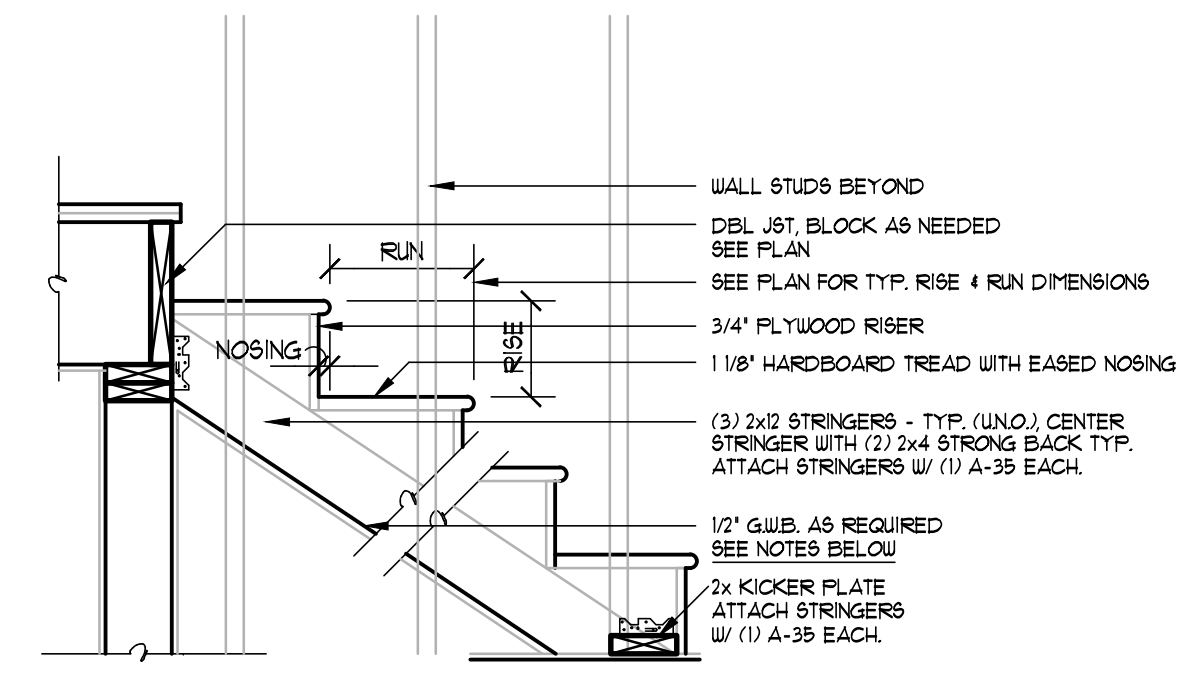
SHEET  
**A8**



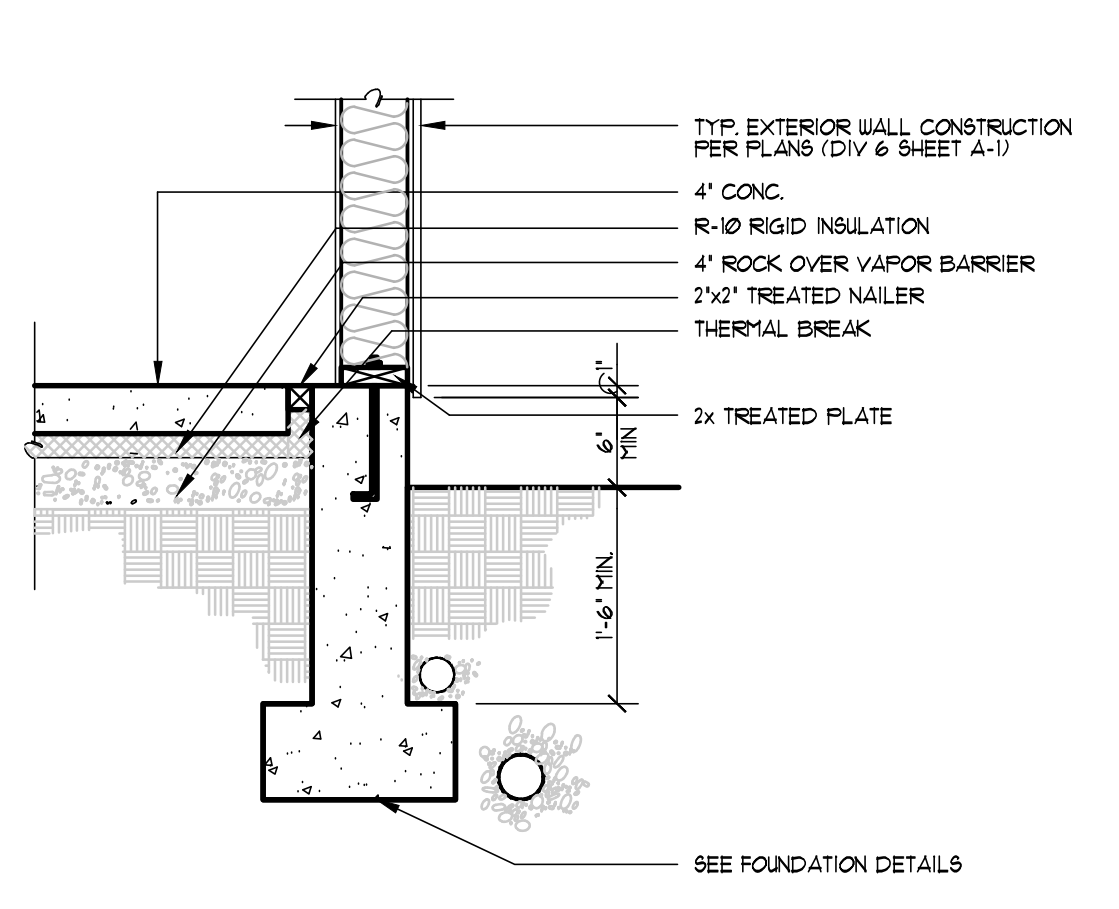
**5 FOUNDATION DETAIL**  
3/4"=1'-0" 08300-00000-78



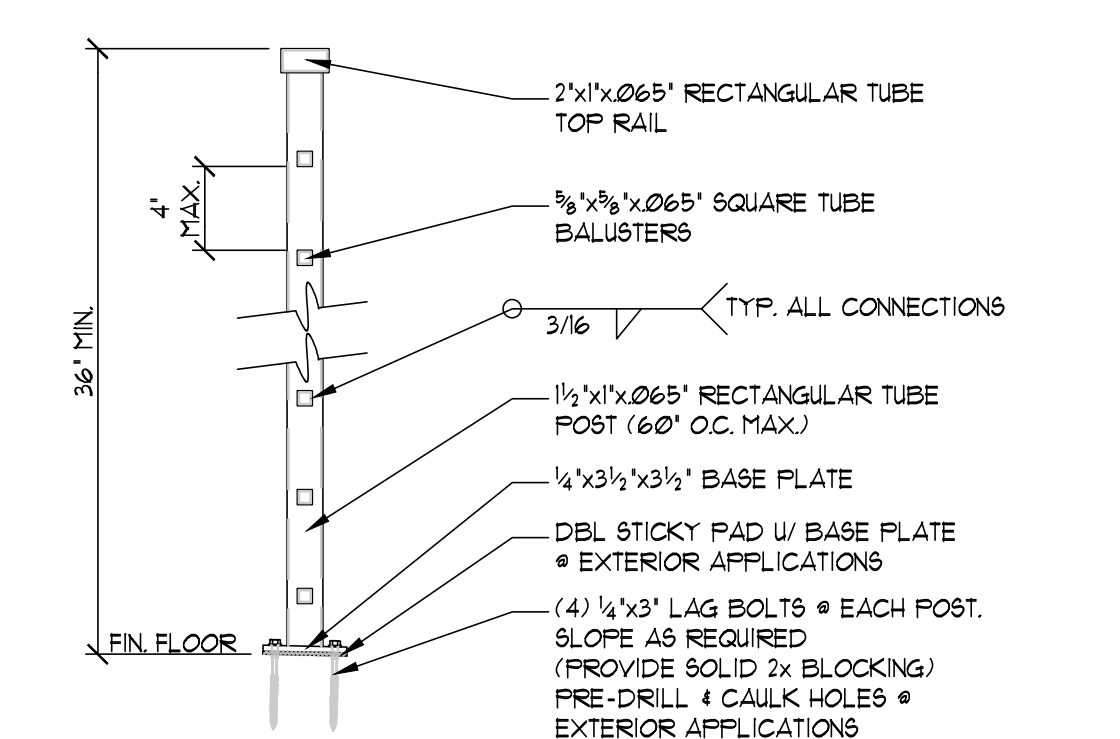
**1 DAMP PROOFING DETAIL**  
3/4"=1'-0" 08300-0710



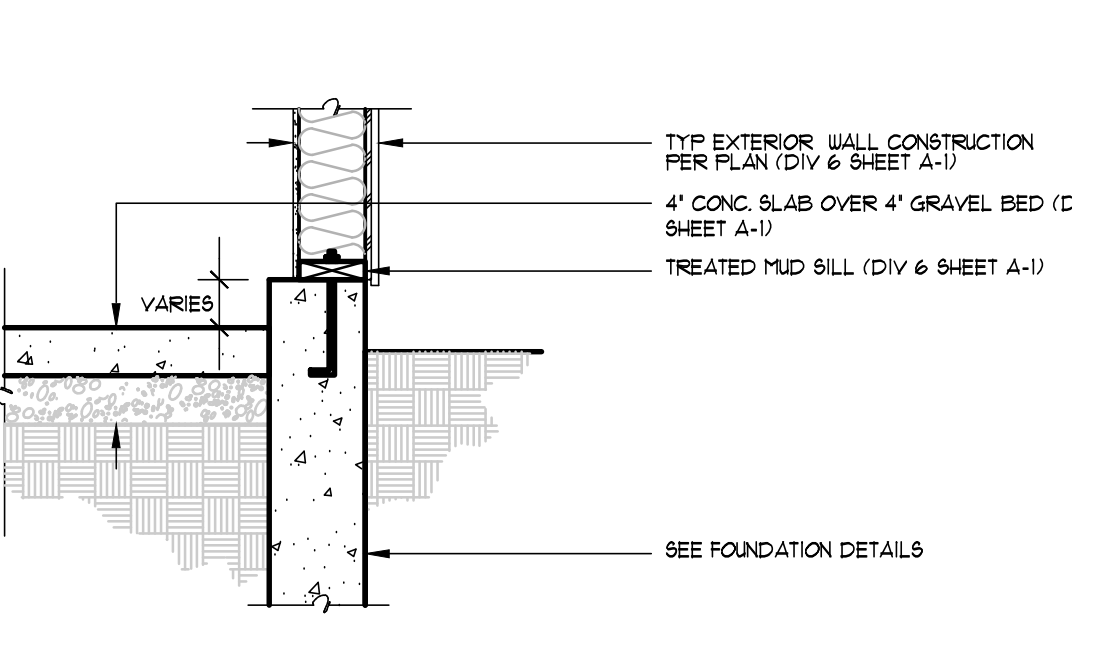
**6 STAIR SECTION DETAIL**  
3/4"=1'-0" 08300-06100-01



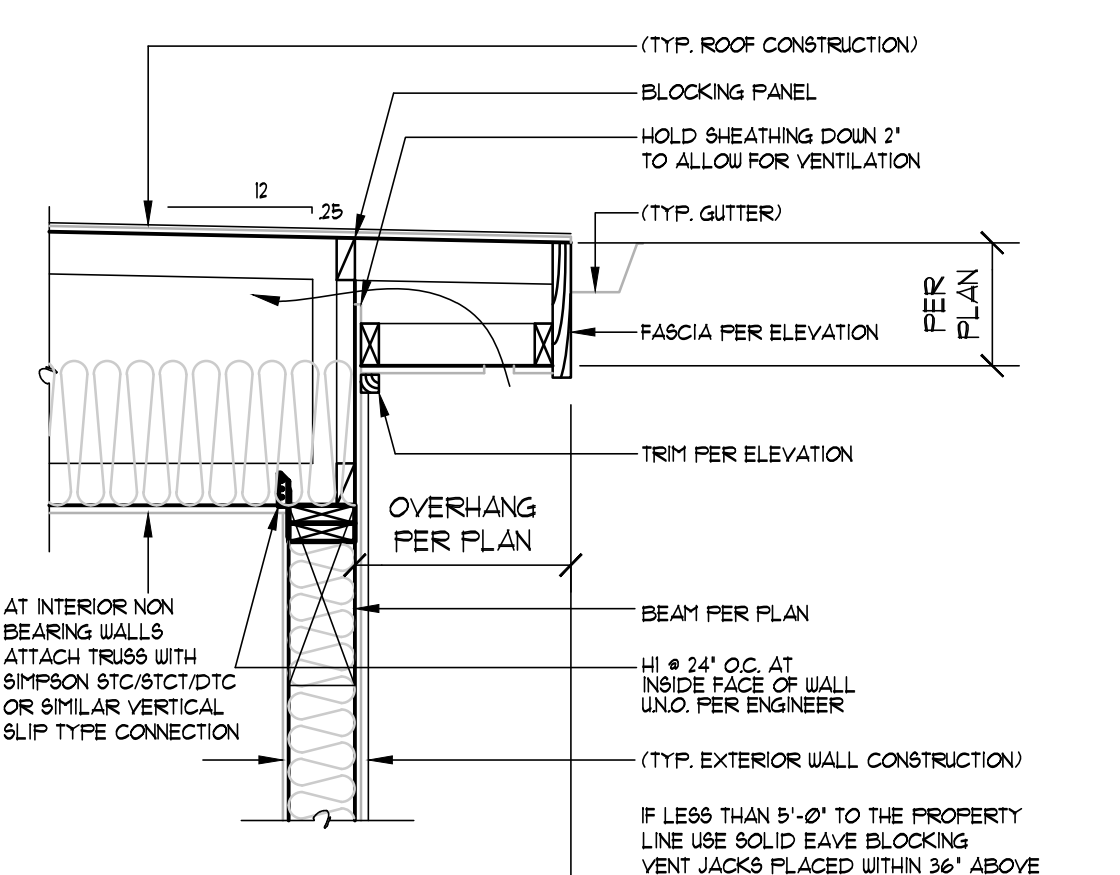
**2 FOUNDATION DETAIL**  
3/4"=1'-0" 08300-00001



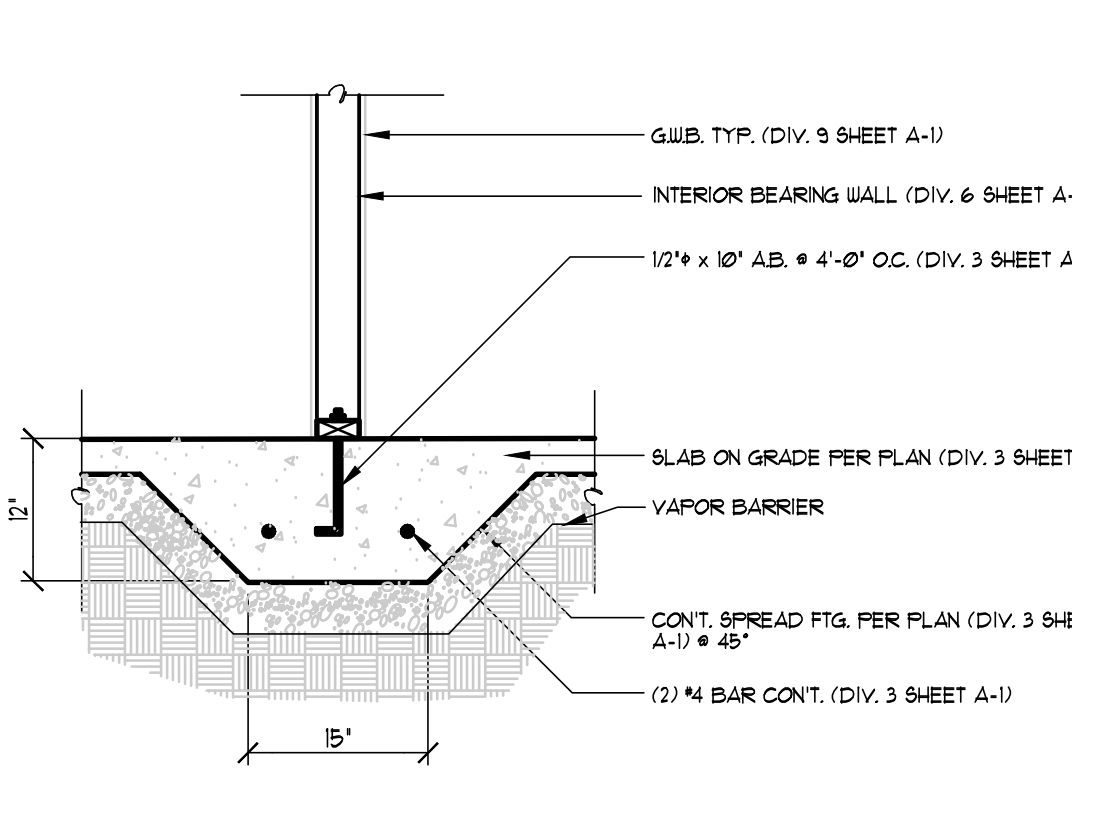
**7 STANDARD RAIL DETAIL**  
1 1/2"=1'-0" 08300-05300



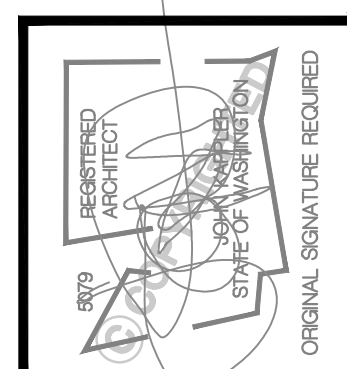
**3 SLAB & STEM WALL**  
3/4"=1'-0" 08300-05300



**8 EAVE DETAIL**  
3/4"=1'-0" 08100-07300-35



**4 FOUNDATION/FRAMING CONNECTION**  
3/4"=1'-0" 08300-0610



| Date     | By                                   | Description |
|----------|--------------------------------------|-------------|
| 10/12/22 | REV. PERMIT SET                      |             |
| 8/17/23  | REV. JURISDICTIONAL COMMENTS         |             |
| 8/25/23  | REV. JURISDICTIONAL COMMENTS         |             |
| 10/5/23  | REV. JURISDICTIONAL COMMENTS         |             |
| 12/2/23  | REV. JURISDICTIONAL COMMENTS-CLOUDED |             |

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|       |
|-------|
| TITLE |
|-------|

|               |         |
|---------------|---------|
| JOB NO.:      | 2107621 |
| STARTING NO.: | 2107605 |

SHEET  
**D1**

| FILE STRUCTURAL NOTES   |
|---|
| <b>GRADE BEAM ON PIPE PILING:</b>   |
| <ul style="list-style-type: none"> <li>PILES SHALL BE INSTALLED TO SUPPORT DESIGN LOAD OF 6 TONS/PILE MINIMUM FOR 3" DIA. PILES AND 10 TONS/PILE MINIMUM FOR 4" DIA. PILES (SAFE LOAD).</li> <li>PILING CONTRACTOR SHALL DETERMINE BY TEST PILE, THE LENGTH AND DIMENSIONS OF THE PILING REQUIRED TO REACH DESIGN LOAD CAPACITY IN ACCORDANCE WITH ASTM D143-81, - 3" MIN. DIA., SCHEDULE 40, GALVANIZED, ASTM A-53 GRADE "A" PIPE PILES</li> <li>PILES SHALL BE DRIVEN TO REFUSAL (10' MINIMUM DEPTH) WITH A TRACTOR-MOUNTED HYDRAULIC HAMMER WITH AN ENERGY RATING OF 650 LB AND TO REFUSAL OF LESS THAN ONE INCH DURING 12 SECONDS OF CONTINUOUS DRIVING. GEOTECH TO COORDINATE DRIVING CRITERIA IF ALTERNATIVE HAMMER SIZE IS SELECTED BY THE CONTRACTOR.</li> <li>PILES SHALL BE DRIVEN IN NOMINAL SECTIONS AND CONNECTED WITH COMPRESSION FITTED COUPLERS. DO NOT WELD PIPE JOINTS TOGETHER.</li> <li>GEOTECH OF RECORD OR HIS/HER REPRESENTATIVE SHALL BE PRESENT TO OBSERVE PIN PILE INSTALLATION &amp; LOAD TEST.</li> <li>PER ASTM 1143-81, 3% OF EACH PILE DIAMETER SIZE SHALL BE LOAD TESTED. A MAXIMUM OF 5 PILES (1 MINIMUM) WILL BE REQUIRED FOR EACH PILE DIAMETER SIZE.</li> </ul> |

| PORCH SLAB   |
|--|
| 4" CONG. SLAB ON GRADE ON 8 MIL VAPOR BARRIER ON 4" MIN. GRANULAR FILL ON 95% COMPACTED FILL/VIRGIN SOIL |
| GARAGE SLAB  |
| 4" CONG. SLAB ON GRADE ON 4" MIN. GRANULAR FILL ON 95% COMPACTED FILL/VIRGIN SOIL                        |
| BASEMENT SLAB  |
| 4" CONG. SLAB ON GRADE ON 8 MIL VAPOR BARRIER ON 4" MIN. GRANULAR FILL ON 95% COMPACTED FILL/VIRGIN SOIL |

| GENERAL STRUCTURAL NOTES  |
|---|
| <b>FOUNDATION</b>   |
| <ul style="list-style-type: none"> <li>DESIGN IS BASED ON 2018 INTERNATIONAL RESIDENTIAL CODE &amp; 2018 INTERNATIONAL BUILDING CODE</li> <li>FOUNDATIONS HAS BEEN DESIGNED BASED ON GEOTECH REPORT DATED NOVEMBER 21, 2023.</li> </ul>   |
| <b>DESIGN LOADS</b>   |
| <ul style="list-style-type: none"> <li>SOIL: 2,000 PSF ALLOWABLE BEARING PRESSURE</li> <li>CONCRETE SHALL ATTAIN THE FOLLOWING MINIMUM COMPRESSIVE STRENGTHS IN 28 DAYS, UNO. <ul style="list-style-type: none"> <li>F<sub>c</sub> = 2500 psi: FOUNDATION WALLS*</li> <li>2500 psi: FOOTINGS*</li> <li>2500 psi: INTERIOR SLABS ON GRADE</li> <li>3500 psi: EXT. SLABS ON GRADE</li> <li>f<sub>t</sub> = 60,000 psi</li> </ul> </li> <li>* UTILIZE 95% SACKS 2500 PSI CONCRETE MIXES THAT ARE EQUIVALENT TO 3000 PSI CONCRETE FOR WEATHERING POTENTIAL.</li> <li>ALL CONCRETE EXPOSED TO THE WEATHER SHALL NOT HAVE LESS THAN 5% OR MORE THAN 7% AIR ENTRAINMENT.</li> <li>TYPICAL REINFORCEMENT DETAILS: LAP ALL REBAR 24" MIN; BEND BARS AND LAP AT CORNERS; PROVIDE 6" HOOK INTO SUPPORTING FOOTINGS WHEN FOOTINGS INTERSECT; PROVIDE 3" MINIMUM COVER AT THE BOTTOM BARS AND 1 1/2" COVER AT THE SIDES.</li> <li>FOUNDATION WALLS SHALL BE BRACED, PRIOR TO BACKFILLING, BY EITHER ADEQUATE TEMPORARY BRACING OR INSTALLATION OF FIRST FLOOR DECK.</li> <li>ALL FOOTINGS SHALL BEAR BELOW FROST LINE. CONSULT SOILS REPORT/ LOCAL MUNICIPALITY FOR MINIMUM DEPTH BELOW GRADE.</li> <li>FOOTINGS AND SLABS ON GRADE SHALL BEAR ON VIRGIN SOIL OR 95% COMPACTED FILL.</li> <li>PROVIDE CONTROL JOINTS AT ALL INSIDE CORNERS OF SLAB EDGES, AND OTHER LOCATIONS WHERE SLAB CRACKS ARE LIKELY TO DEVELOP. (15'-0" O.C.)</li> <li>FASTEN SILL PLATES TO FOUNDATION WALLS WITH 3/8" DIA. ANCHOR BOLTS W/ MIN. 3"x3"x1/2" PLATE WASHERS. EDGE OF WASHER TO BE LOCATED WITHIN 1/2" OF EXTERIOR EDGE OF SILL PLATE &amp; NUTS @ 6'-0" O.C. @ 2-STORY &amp; 4'-0" O.C. @ 3-STORY CONDITIONS W/ 7" MIN. EMBEDMENT INTO CONG. PROVIDE A MINIMUM OF 2 ANCHORS PER PLATE, 12" MAXIMUM FROM PLATE ENDS, UNO. (SEE FND. DETAIL.)</li> <li>ALL LUMBER EXPOSED TO WEATHER OR IN CONTACT W/ CONCRETE OR MASONRY FOUNDATION SHALL BE PRESERVATIVE-TREATED. HEM FIR #2.</li> <li>BUILDER TO VERIFY CORROSION-RESISTANCE COMPATIBILITY OF HARDWARE &amp; FASTENERS IN CONTACT W/ PRESERVATIVE-TREATED WOOD. CONTACT LUMBER &amp; HARDWARE SUPPLIERS TO COORDINATE.</li> <li>ARCH/BUILDER TO VERIFY ALL DIMENSIONS.</li> </ul> |

| HOLD-DOWN SCHEDULE |  |
|--------------------|--|
| SYMBOL             | SPECIFICATION  |
| ▶ HD-1             | SIMPSON STDH14 (RJ) HOLD-DOWN                                |
| ▶ HD-5             | SIMPSON CS16 STRAP TIE (14" END LENGTH)                      |
| ▶ HD-6             | SIMPSON MSTC40 STRAP TIE (CENTER STRAP ON FLOOR SYSTEM UNO.) |
| ▶ HD-7             | SIMPSON MSTC66 STRAP TIE (CENTER STRAP ON FLOOR SYSTEM UNO.) |

| MEANS & METHODS NOTES  |
|--|
| <p>THE STRUCTURE IS DESIGNED TO BE SELF SUPPORTING AND STABLE AFTER THE BUILDING IS FINISHED AND ALL PLAN, DETAIL, AND NOTE SPECIFICATIONS HAVE BEEN COMPLETED. IT IS THE CONTRACTOR'S SOLE RESPONSIBILITY TO DETERMINE THE ERECTION PROCEDURES AND SEQUENCE TO INSURE THE SAFETY OF THE BUILDING AND ITS COMPONENTS DURING CONSTRUCTION. THIS INCLUDES, BUT IS NOT LIMITED TO, THE ADDITION OF NECESSARY SHORING, SHEETING, TEMPORARY BRACING, GUTS, AND TIE-DOWNS. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL SHORING AND BRACING REQUIRED TO STABILIZE AND PROTECT EXISTING AND ADJACENT STRUCTURES AND SYSTEMS DURING COURSE OF DEMOLITION AND CONSTRUCTION OF THE PROJECT.</p> <p>STRUCTURAL DESIGN AND SPECIFICATIONS ASSUME THAT ALL SUPPORTING AND NON-SUPPORTING ELEMENTS IN CONTACT WITH FLOOR FRAMING ARE LEVEL, INCLUDING, BUT NOT LIMITED TO, FOUNDATIONS, SLABS ON GRADE, BEAMS, WALLS, AND NON-BEARING ELEMENTS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY LEVELNESS AND MAKE ADJUSTMENTS AS NECESSARY, INCLUDING CONSIDERATION OF THOSE AREAS THAT MAY BE WITHIN CONTRACTUAL, INDUSTRY, OR WARRANTY TOLERANCES.</p> |

| ADDITIONAL NOTES FOR TRUSS & I-JOIST MANUFACTURER  |
|--|
| <p>ROOF TRUSS, FLOOR TRUSS AND ENGINEERED JOISTS SHALL BE DESIGNED TO MEET THE DIFFERENTIAL DEFLECTION CRITERIA BELOW, UNLESS NOTED OTHERWISE ON PLAN. MULHERN + KULP CANNOT BE HELD RESPONSIBLE FOR ANY STRUCTURAL ISSUES RELATED TO ANY BUILDING COMPONENT IF COMPONENT SHOP DRAWINGS ARE NOT SUBMITTED TO MKK FOR REVIEW PRIOR TO FABRICATION, DELIVERY, OR INSTALLATION.</p> <p>TRUSSES SHALL BE DESIGNED SO THAT DIFFERENTIAL DEFLECTION BETWEEN ADJACENT PARALLEL TRUSSES OR GIRDER TRUSSES DOES NOT EXCEED THE FOLLOWING:</p> <p>A. FLOOR TRUSSES:<br/>1/4" DEAD LOAD</p> <p>B. FLOOR TRUSSES, ATTIC TRUSSES, &amp; I-JOISTS:<br/>1/8" DEAD LOAD</p> <p>C. FLOOR TRUSSES &amp; ATTIC TRUSSES ADJACENT TO FLOOR FRAMING BY OTHERS:<br/>LIMIT ABSOLUTE TRUSS DEFLECTION TO 3/16" DEAD LOAD, (NOT DIFFERENTIAL DEFLECTION)</p> |

| LOADING AND DESIGN PARAMETERS                         |                          |
|---|--------------------------|
| <b>GRAVITY DESIGN LOADS:</b>                          |                          |
| DEAD LOAD (PSF):                                      | 7                        |
| ROOF TRUSS TOP CHORD                                  | 10                       |
| ROOF TRUSS BOTTOM CHORD                               | 15                       |
| FLOOR TRUSSES:  | 10                       |
| FLOOR (SOLID SAWN):                                   | 15                       |
| <b>LIVE LOAD (PSF):</b>                               |                          |
| ROOF:   | 20                       |
| RESIDENTIAL LIVING AREAS:                             | 40                       |
| RESIDENTIAL SLEEPING AREAS:                           | 30                       |
| BALCONY LIVE:   | 60                       |
| <b>SNOW LOAD:</b>                                     |                          |
| GROUND SNOW LOAD (P <sub>g</sub> ) (PSF):             | 25                       |
| FLAT ROOF SNOW LOAD (P <sub>f</sub> ) (PSF):          | 25                       |
| SNOW EXPOSURE FACTOR (C <sub>e</sub> ):               | 0.8                      |
| SNOW LOAD IMPORTANCE FACTOR (I):                      | 1.0                      |
| THERMAL FACTOR (C <sub>t</sub> ):                     | 1.2                      |
| <b>LATERAL DESIGN LOADS:</b>                          |                          |
| WIND LOAD: (IBC 1609)                                 |                          |
| SPEED (V) (MPH):                                      | 100                      |
| WIND RISK CATEGORY:                                   | II                       |
| IMPORTANCE FACTOR (I <sub>w</sub> ):                  | 1.0                      |
| EXPOSURE CATEGORY:                                    | C                        |
| INTERNAL PRESSURE COEFF. (GC <sub>p</sub> ):          | ±0.18                    |
| TOPOGRAPHIC FACTOR (K <sub>z</sub> ):                 | 1.0                      |
| <b>SEISMIC LOAD: (IBC 1618)</b>                       |                          |
| SEISMIC RISK CATEGORY:                                | II                       |
| SEISMIC IMPORTANCE FACTOR (I <sub>w</sub> ):          | 1.0                      |
| MAPPED SPECTRAL RESPONSE:                             |                          |
| S <sub>e</sub> 1.401                                  | S <sub>e</sub> 0.440     |
| SITE CLASS:   | D                        |
| SPECTRAL RESPONSE COEFF.: (S <sub>s</sub> )           | 0.438                    |
| SEISMIC DESIGN CATEGORY:                              | D                        |
| BASIC SEISMIC-FORCE-RESISTING SYS:                    |                          |
| LIGHT FRAMED WALLS                                    |                          |
| WOOD STRUCTURAL PANELS                                |                          |
| DESIGN BASE SHEAR (ULT):                              |                          |
| TRANS: 23k  | LONG: 23k                |
| SEISMIC RESPONSE COEFF. (C <sub>d</sub> ) (ADDITION): |                          |
| TRANS: 0.14   | LONG: 0.144              |
| RESPONSE MODIFICATION FACTOR (R):                     |                          |
| TRANS: 6.5  | LONG: 6.5                |
| ANALYSIS PROCEDURE USED:                              | EQUIVALENT LATERAL FORCE |

| LATERAL BRACING NOTES   |
|---|
| THIS HOME HAS BEEN ENGINEERED TO RESIST LATERAL FORCES RESULTING FROM: 100 MPH WIND SPEED, EXP. C (ASCE 7-16 WIND MAP, PER IRC R301.2.1.1) RISK CAT. 2 & SEISMIC CAT. D2.   |
| <b>110 MPH WIND IN 2018 IRC MAP</b>   |
| ENGINEERED DESIGN WAS COMPLETED PER 2018 IBC (SECTION 1609 & 1613) & ASCE 7-16, AS PERMITTED BY R301.3 OF THE 2018 IRC. ACCORDINGLY, THIS HOME, AS DOCUMENTED AND DETAILED HEREIN, IS ADEQUATE TO RESIST THE CODE REQUIRED LATERAL FORCES, AND DOES NOT NEED TO CONFORM TO THE PRESCRIPTIVE PROVISIONS OF R602.10.  |
| <b>STANDARD EXTERIOR WALL SHEATHING SPECIFICATIONS</b><br>(INTERIOR WALL SPECIFICATION WHERE NOTED ON PLANS)  |
| <ul style="list-style-type: none"> <li>3/8" OSB OR 1/2" PLYWOOD:<br/>FASTEN SHEATHING W/ 2 1/2"x0.131" NAILS @ 6" O.C. AT ALL SUPPORTED PANEL EDGES AND 12" O.C. IN THE PANEL FIELD. ALL SHEATHING SHEET PANEL EDGES SHALL OCCUR OVER WALL FRAMING MEMBERS OR 2x HORIZONTAL BLOCKING SHALL BE PROVIDED TO SUPPORT PANEL EDGE. ALL EXTERIOR WALLS SHALL BE CONSTRUCTED PER THIS SPECIFICATION UNO. ON PLANS.</li> </ul>                      |
| <b>3" o.c. EDGE NAILING</b><br>(WHERE NOTED ON PLANS)   |
| <ul style="list-style-type: none"> <li>3/8" OSB OR 1/2" PLYWOOD:<br/>ONLY AT LOCATIONS INDICATED ON PLANS - SHEATH WALL SHOWN WITH 3/8" OSB. FASTEN SHEATHING W/ 2 1/2"x0.131" NAILS @ 3" O.C. AT EDGES AND 12" O.C. AT CENTER. ALL SHEATHING SHEET PANEL EDGES SHALL OCCUR OVER WALL FRAMING MEMBERS OR 2x HORIZONTAL BLOCKING SHALL BE PROVIDED TO SUPPORT PANEL EDGE AND 3" O.C. FASTENING.</li> </ul>                                   |
| <b>NOTES:</b>   |
| <ol style="list-style-type: none"> <li>LATERAL ANALYSIS ASSUMES STUD SPACING @ 16" O.C.</li> <li>ALL SHEAR WALLS SHALL HAVE DOUBLE TOP PLATES FASTENED TOGETHER W/ 3"x0.131" NAILS @ 8" O.C. USE (2) 3/8"x0.131" NAILS AT EACH LAP SPlice. (6) EACH SIDE OF JOINT (TYP. UNO.)</li> <li>ALL EXTERIOR WALLS ARE CONTINUOUSLY SHEATHED.</li> <li>ALL INTERIOR SHEAR WALLS AND EXTERIOR WALLS ARE SHEATHED ABOVE AND BELOW OPENINGS.</li> </ol> |

| LEGEND   |
|--|
| <ul style="list-style-type: none"> <li>▬ INTERIOR BEARING WALL</li> <li>▬ BEARING WALL ABOVE (B/A), OR SHEARWALL ABOVE (S/A)</li> <li>▬ BEAM / HEADER</li> <li>▬ INTERIOR SHEAR WALL PANEL OR EXTERIOR SHEAR WALL W/ 3" O.C. EDGE NAILING</li> <li>••••• INDICATES AREA OF ROOF OVERFRAMING</li> <li>JL METAL HANGER</li> <li>* INDICATES POST ABOVE. PROVIDE SOLID BLOCKING UNDER POST OR JAMB ABOVE.</li> <li>▶ INDICATES HOLD-DOWN.</li> <li>• INDICATES PIPE PILE</li> </ul> |

| GENERAL STRUCTURAL NOTES  |
|---|
| <b>DESIGN PARAMETERS</b>  |
| <ul style="list-style-type: none"> <li>DESIGN IS BASED ON 2018 INTERNATIONAL RESIDENTIAL CODE &amp; 2018 INTERNATIONAL BUILDING CODE</li> <li>WOOD FRAME ENGINEERING IS BASED ON NDS, NATIONAL CODE SPECIFICATION FOR WOOD CONSTRUCTION - LATEST EDITION.</li> </ul>  |
| <b>GENERAL FRAMING</b>  |
| <ul style="list-style-type: none"> <li>EXTERIOR BEARING WALLS SHALL BE 2x4 OR 2x6 (AS SHOWN ON PLANS) @ 16" O.C. (W/ DOUBLE TOP PLATE) HEM FIR (HF) "STUD" GRADE LUMBER, OR BETTER, UNO.</li> <li>INTERIOR BEARING WALLS SHALL BE 2x4 OR 2x6 (AS SHOWN ON PLANS) @ 16" O.C. (W/ DOUBLE TOP PLATE) HEM FIR (HF) "STUD" GRADE LUMBER, OR BETTER, UNO.</li> <li>ALL NON-BEARING INTERIOR STUD WALLS SHALL BE CONSTRUCTED WITH 2x STUD GRADE MEMBERS SPACED @ 24" O.C. (MAX.)</li> <li>ALL WALLS TALLER THEN TYP. PLATE HEIGHT SHALL BE CONSIDERED BALCON FRAMED &amp; SHALL BE CONSTRUCTED FROM FLOOR TO UNDERFLOOR OF FRAMING AT NEXT LEVEL. HF WALLS SHALL BE 2x4 OR 2x6 (AS SHOWN ON PLANS) HEM FIR (HF) #2 GRADE LUMBER, OR BETTER.</li> <li>ALL HEADERS SHALL BE SUPPORTED BY (1)2x JACK STUD &amp; (1)2x KING STUD, MINIMUM. <ul style="list-style-type: none"> <li>THE NUMBER OF STUDS SPECIFIED AT A SUPPORT INDICATES THE NUMBER OF JACK STUDS REQUIRED, UNO.</li> </ul> </li> <li>MULTI-PLY POSTS SHALL BE 2x4 OR 2x6 DOUGLAS FIR (DF) "STUD" GRADE LUMBER, OR BETTER, UNO. &amp; SOLID WOOD COLUMN SHALL BE HEM FIR (HF) #2 GRADE LUMBER, OR BETTER, UNO.</li> <li>ALL 2x6 AND LARGER SOLID SAWN BEAMS/HEADERS SHALL BE HEM FIR #2 (HF #2) OR BETTER. ALL 4x6 AND LARGER SOLID SAWN LUMBER SHALL BE DOUGLAS FIR #2 (DF #2) OR BETTER.</li> <li>ALL FRAMING LUMBER SHALL BE KILN DRIED TO 15% MC (KD-15).</li> <li>ALL TYP. NAIL FASTENER REQUIREMENTS ARE NOTED IN GENERAL NOTES, IN DETAILS, OR ON PLANS. ALL NAILS SPECIFIED ARE MIN DIAMETER AND LENGTH REQUIRED FOR CONNECTION. ALL HANGER NAILS SHALL BE INSTALLED PER MANUFACTURER'S REQUIREMENTS FOR MAX. SHARDED CAPACITY. NUTS, WASHERS, USE COMMON NAIL DIAMETERS NOT TYPICAL FRAMING GUN NAILS.</li> <li>FASTEN ALL BEAMS TO COLUMNS, OR FLUSH BEAMS TO SUPPORTING BEAMS, W/ (4) 3"x0.131" TOENAILS (MIN), TYP. UNO.</li> <li>PROVIDE SOLID BLOCKING IN FLOOR SYSTEM UNDER ALL POSTS &amp; HOLD-DOWNS CONTINUOUS TO FOUNDATION/BEARING. BLOCKING TO MATCH POST ABOVE.</li> <li>ENGINEERED LUMBER TO MEET OR EXCEED THE FOLLOWING: <ul style="list-style-type: none"> <li>LVL MEMBERS - Fb=2325 PSI; Fv=310 PSI; E=1.55x10<sup>6</sup> PSI</li> <li>LVL MEMBERS - Fb=2600 PSI; Fv=285 PSI; E=2.0x10<sup>6</sup> PSI</li> <li>GLB MEMBERS - Fb=2400 PSI; Fv=1850 PSI; Fv=265 PSI; E=1.8x10<sup>6</sup> PSI; DF, DF, 2x4-F4 (UNO.)</li> </ul> </li> <li>ENGINEERED LUMBER POSTS TO MEET OR EXCEED THE FOLLOWING: <ul style="list-style-type: none"> <li>LVL MEMBERS - Fb=2400 PSI; Fc=1250 PSI; E=1.8x10<sup>6</sup> PSI</li> </ul> </li> <li>FACE NAIL MULTI-PLY 2x BEAMS &amp; HEADERS W/ 3-ROWS OF 3"x0.131" NAILS (MIN) @ 12" O.C. STAGGERED. APPLY NAILING FROM BOTH FACES @ 3-PLY OR MORE CONDITIONS. USE 2 ROWS OF NAILS FOR 2x6 &amp; 2x8 MEMBERS.</li> <li>ALL MEMBERS SPECIFIED AS MULTI-PLY 1/2" SHALL BE FASTENED TOGETHER PER MANUFACTURER. EQUIVALENT WIDTH SOLID MATERIAL MAY BE USED AS EQUAL.</li> <li>FASTEN 2x WOOD PLATES TO TOP FLANGE OF STEEL BEAMS W/ AFs (MIN) 1"x1" PINS OR EQUAL (0.131" DIA. x 2" LONG MIN) @ 16" O.C. STAGGERED, OR 1/2" DIA. BOLTS @ 48" O.C. STAGGERED.</li> <li>REFER TO IRC FASTENING SCHEDULE TABLE R602.3(1) FOR ALL CONNECTIONS, TYP. UNO.</li> </ul> |
| <b>FLOOR FRAMING</b>  |
| <ul style="list-style-type: none"> <li>I-JOISTS/TRUSSES SHALL BE DESIGNED BY MANUF. TO MEET OR EXCEED L/800 LIVE LOAD DEFLECTION CRITERIA AND SHALL RUN CONTINUOUS OVER SUPPORTS WHEREVER POSSIBLE. ALL LOADS SHOWN ON PLAN FOR MANUF. DESIGNS ARE ASD LEVEL LOADS, UNO. (EXCLUDES STONE/HARBLE OR NET BED CONSTRUCTED FLOORS - CONTACT MKK FOR EXCLUDED DESIGNS).</li> <li>ALL METAL I-JOIST/TRUSS HANGERS SHALL BE SPECIFIED BY I-JOIST/TRUSS MANUFACTURER, UNLESS OTHERWISE NOTED.</li> <li>I-JOIST/TRUSS SHOP DRAWINGS SHALL BE SUBMITTED TO ARCHITECT AND ENGINEER FOR REVIEW AND APPROVAL PRIOR TO FABRICATION OR DELIVERY.</li> <li>2x FLOOR JOISTS HAVE BEEN DESIGNED TO MEET OR EXCEED L/800 LIVE LOAD DEFLECTION CRITERIA.</li> <li>TYPICAL 2x JOIST HANGERS (UNO. ON PLANS) SINGLE PLY: SIMPSON LUS210 DOUBLE: SIMPSON LUS210-2</li> <li>FLOOR SHEATHING SHALL BE 23/32" A.P.A. RATED "STUD-FLOOR" 24" O.C. EXPOSURE 1 (OR APPROVED EQUAL) WITH TONGUE AND GROOVE EDGES. FASTEN TO FRAMING MEMBERS W/ GLUE AND 2 1/2" x 0.131" NAILS @ 6" O.C. @ PANEL EDGES &amp; @ 12" O.C. FIELD.</li> <li>ALL FLUSH CONNECTIONS SHALL BE CONNECTED WITH HANGER APPROPRIATE FOR MEMBER SIZE, UNO.</li> <li>FASTEN HANGERS TO SINGLE PLY FLUSH BEAMS W/ 1/2" LONG NAILS.</li> </ul>  |
| <b>ROOF FRAMING</b>   |
| <ul style="list-style-type: none"> <li>FASTEN EACH ROOF TRUSS TO TOP PLATE W/ (3) 3"x0.131" TOENAILS (MIN) &amp; (1) SIMPSON H251 CLIP @ ALL BEARING POINTS. PROVIDE (2) SIMPSON H251 CLIPS AT 2-PLY GIRDER TRUSSES &amp; 3-PLY GIRDER TRUSSES AT ALL BEARING POINTS.</li> <li>FASTEN EACH ROOF RAFTER TO TOP PLATE WITH (1) SIMPSON H251 CLIP. PROVIDE (2) SIMPSON H251 CLIPS AT FLUSH BEAMS IN THE ROOF - AT ALL BEARING POINTS.</li> <li>ROOF SHEATHING SHALL BE 7/16" A.P.A. RATED SHEATHING 24/16 EXPOSURE 1 (OR APPROVED EQUAL). FASTEN TO FRAMING MEMBERS W/ 2 1/2" x 0.131" NAILS @ 6" O.C. AT PANEL EDGES &amp; @ 12" O.C. AT INTERMEDIATE SUPPORTS. ROOF SHEATHING SHALL EXTEND BELOW ALL INSTANCES OF OVERFRAMING. BLOCKING SHALL BE INSTALLED AS REQUIRED TO LIMIT ROOF SHEATHING SPANS TO 24" MAX.</li> <li>WITHIN 48" OF ALL ROOF EDGES, RIDGES, &amp; HIPS FASTEN ROOF SHEATHING FIELDS PER EDGE NAILING SPEC.</li> <li>ALL METAL HANGERS SHALL BE SPECIFIED BY THE TRUSS MANUFACTURER, UNLESS OTHERWISE NOTED.</li> <li>ROOF TRUSS SHOP DRAWINGS SHALL BE SUBMITTED TO ARCHITECT AND ENGINEER FOR REVIEW AND APPROVAL PRIOR TO FABRICATION OR DELIVERY.</li> <li>ROOF TRUSS SHOP DRAWINGS &amp; CALCULATIONS SHALL BE PREPARED BY A WASHINGTON STATE LICENSED ENGINEER AND SHALL BE DESIGNED FOR UNBALANCED SNOW LOADING PER ASCE 7-16, SECTION 16.</li> <li>ERECT AND INSTALL ROOF TRUSSES PER WTCA &amp; TP'S BC51 I-08 "GUIDE TO GOOD PRACTICE FOR HANDLING, INSTALLING &amp; BRACING OF METAL PLATE CONNECTED WOOD TRUSSES."</li> <li>FASTEN OVER-FRAMED TRUSS SETS TO TRUSSES BELOW W/ (2) 3"x0.131" TOENAILS AT EA. TRUSS.</li> <li>SUPPORT PORCH &amp; SHORT SPAN ROOF TRUSSES (UP TO 6' TRIB) W/ 2x6 LEDGER FASTENED TO FRAMING W/ (3) 3"x0.131" NAILS @ 16" O.C.</li> <li>FASTEN ALL INTERIOR NON-BEARING PARTITION WALLS TO TRUSS BOTTOM CHORD ABOVE WITH SIMPSON STC CLIPS AT 24" O.C. MAX. PROVIDE BLOCKING BETWEEN THE TRUSS BOTTOM CHORDS AS REQUIRED FOR THE PARALLEL CONDITIONS.</li> </ul>   |



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|                           |           |
|---------------------------|-----------|
| M&K project number:       | 203-22010 |
| project mgr:              | NJM       |
| drawn by:                 | LGH       |
| issue date:               | 05-04-22  |
| REVISIONS:                |           |
| date:                     | initial:  |
| 04/28/2023                | LGH       |
| 06/21/2023                | LGH       |
| 10/05/2023                | LGH       |
| 11/27/2023                | LGH       |
| ADD. PLAN REVIEW COMMENTS |           |

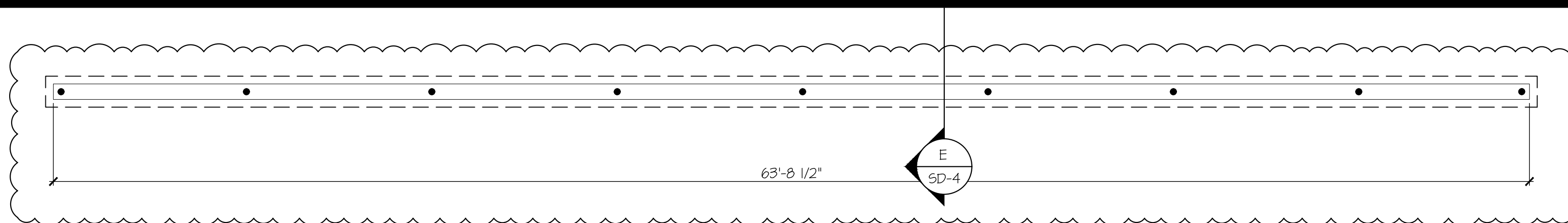
**ARCHITECTURAL INNOVATIONS**

**STRUCTURAL NOTES**  
**3036 67TH AVE. SE**  
**MERCER ISLAND, WASHINGTON**

sheet:

S-0.0





REFER TO S-0.0 FOR  
TYPICAL STRUCTURAL  
NOTES & SCHEDULES

LEGEND

- ▬ INTERIOR BEARING WALL
- ▬ BEARING WALL ABOVE (B.W.A.), OR SHEARWALL ABOVE (S.W.A.)
- ▬ BEAM / HEADER
- ▬ INTERIOR SHEAR WALL PANEL OR EXTERIOR SHEAR WALL w/ 3" o.c. EDGE NAILING
- ▬ INDICATES AREA OF ROOF OVERFRAMING
- J.L. METAL HANGER
- \* INDICATES POST ABOVE, PROVIDE SOLID BLOCKING UNDER POST OR JAMB ABOVE.
- ▴ INDICATES HOLD-DOWN.
- INDICATES PIPE FILE

HOLD-DOWN SCHEDULE

| SYMBOL | SPECIFICATION  |
|--------|--|
| ▴ HD-1 | SIMPSON 5THD14 (R.J) HOLD-DOWN                                 |
| ▴ HD-5 | SIMPSON C516 STRAP TIE (14" END LENGTH)                        |
| ▴ HD-6 | SIMPSON MSTC40 STRAP TIE (CENTER STRAP ON FLOOR SYSTEM U.N.O.) |
| ▴ HD-7 | SIMPSON MSTC66 STRAP TIE (CENTER STRAP ON FLOOR SYSTEM U.N.O.) |



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M&K project number:  
**203-22010**

project mgr: NJM  
drawn by: LGH  
issue date: 05-04-22

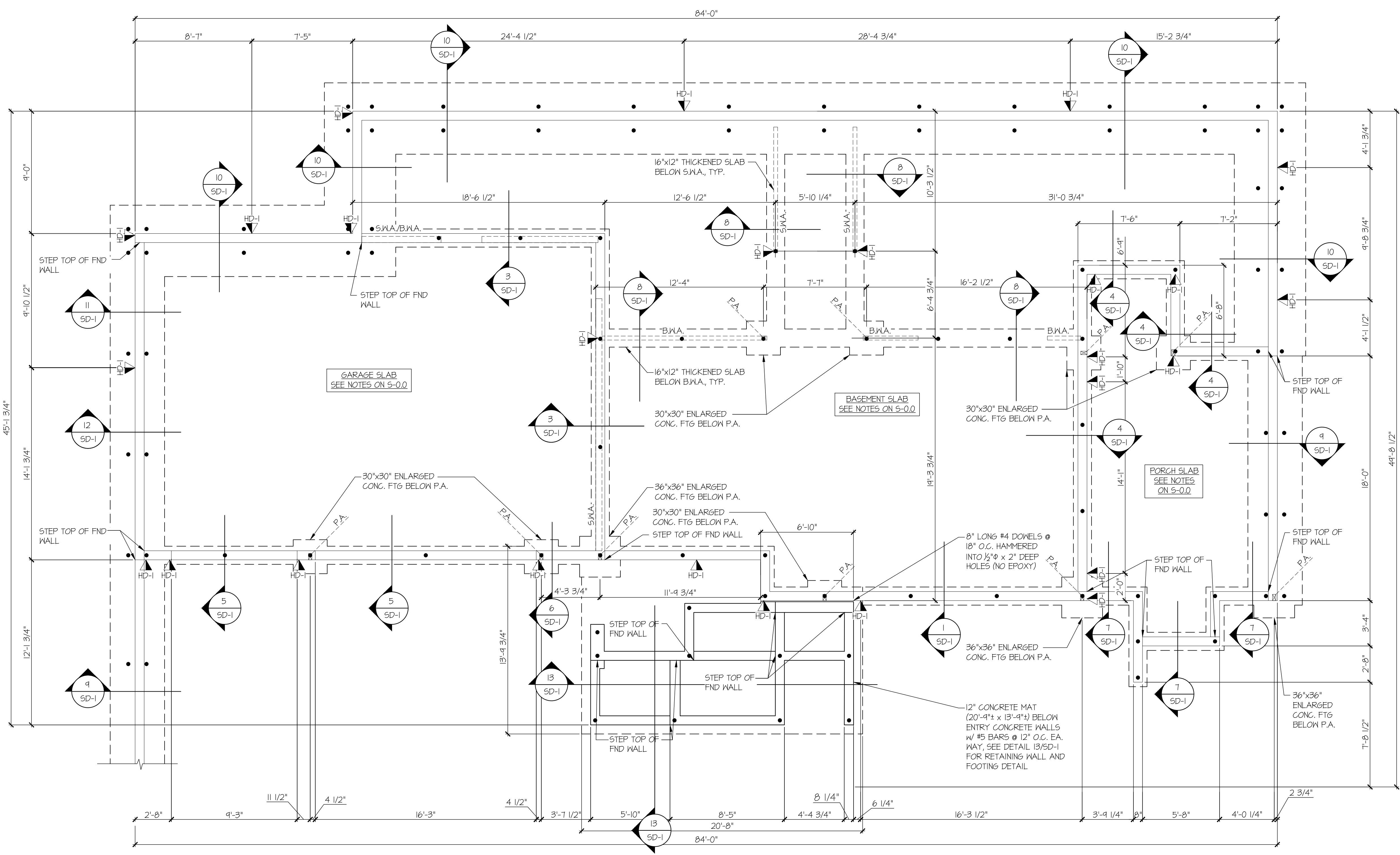
REVISIONS:

| date:      | initial: |
|------------|----------|
| 04/28/2023 | LGH      |
| 06/21/2023 | LGH      |
| 10/05/2023 | LGH      |
| 11/27/2023 | LGH      |

ARCHITECTURAL  
INNOVATIONS

FOUNDATION PLAN  
3036 67TH AVE. SE  
MERCER ISLAND, WASHINGTON

sheet:  
**S-1.0**



**FOUNDATION PLAN**  
SCALE: 1/4"=1'-0"

REFER TO S-O.O FOR  
TYPICAL STRUCTURAL  
NOTES & SCHEDULES

LEGEND

- ▬ INTERIOR BEARING WALL
- ▬ BEARING WALL ABOVE (B.W.A.), OR SHEARWALL ABOVE (S.W.A.)
- ▬ BEAM / HEADER
- ▬ INTERIOR SHEAR WALL PANEL OR EXTERIOR SHEAR WALL w/ 3" o.c. EDGE NAILING
- ▬ INDICATES AREA OF ROOF OVERFRAMING
- J.L METAL HANGER
- \* INDICATES POST ABOVE, PROVIDE SOLID BLOCKING UNDER POST OR JAMB ABOVE.
- ◀ INDICATES HOLD-DOWN
- INDICATES PIPE PILE

HOLD-DOWN SCHEDULE

| SYMBOL | SPECIFICATION  |
|--------|--|
| ▶ HD-1 | SIMPSON 5THD14 (R.J) HOLD-DOWN                                 |
| ▶ HD-5 | SIMPSON C516 STRAP TIE (14" END LENGTH)                        |
| ▶ HD-6 | SIMPSON MSTC40 STRAP TIE (CENTER STRAP ON FLOOR SYSTEM U.N.O.) |
| ▶ HD-7 | SIMPSON MSTC66 STRAP TIE (CENTER STRAP ON FLOOR SYSTEM U.N.O.) |



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**203-22010**  
project mgr: NJM  
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issue date: 05-04-22

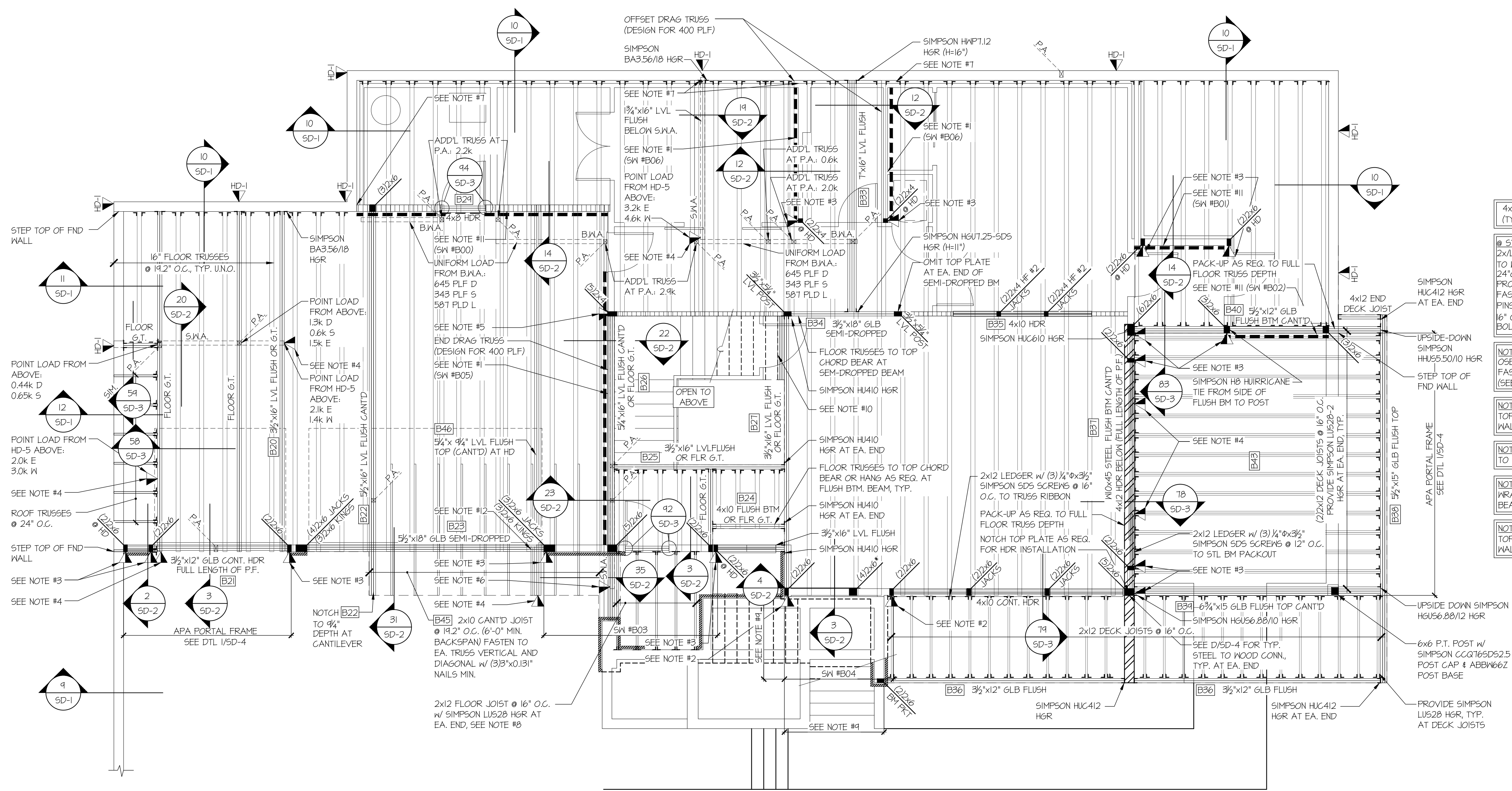
REVISIONS:

| date:      | initial: |
|------------|----------|
| 04/28/2023 | LGH      |
| 06/21/2023 | LGH      |
| 10/05/2023 | LGH      |
| 11/27/2023 | LGH      |

ARCHITECTURAL  
INNOVATIONS

MAIN FLOOR FRAMING PLAN  
3036 67TH AVE. SE  
MERCER ISLAND, WASHINGTON

sheet:  
**S-1.1**



- 4x10 HDR @ ALL EXT. OPENINGS (TYP. U.N.O.) [B22]
- STEEL BEAMS: PROVIDE SOLID 2x LVL WEB PACKOUT FASTENED TO WEB w/ 1/2" DIA. THRU BOLTS @ 24" o.c. STAGGERED. ALSO, PROVIDE 2x TOP PLATE FASTENED w/ P.A.F.s (MULTI X-U PINS OR EQUAL) @ 16" O.C. STAGGERED, OR 1/2" DIA. BOLTS @ 48" O.C. STAGGERED.
- PROVIDE 1/8" OSB/PLYWOOD SHEATHING AND FASTEN 3" O.C. EDGE NAILING (SEE NOTES ON S-O.O.)
- HD-5 FROM ABOVE TO TOP OF WALL. HD-1 AT BASE OF WALL TO FOUNDATION BELOW.
- HD-1 AT BASE OF WALL TO FOUNDATION BELOW.
- HD-5 FROM ABOVE. WRAP END LENGTH AROUND BEAM/G.T. AS REQ.
- HD-6 FROM ABOVE TO TOP OF WALL. HD-1 AT BASE OF WALL TO FOUNDATION BELOW.
- HD-6 FROM ABOVE. WRAP END LENGTH AROUND BEAM/G.T. AS REQ.
- HD-6 FROM ABOVE TO TOP OF WALL. HD-1 AT BASE OF WALL TO FOUNDATION BELOW.
- HD-6 FROM ABOVE. WRAP END LENGTH AROUND BEAM/G.T. AS REQ.

1 MAIN FLOOR FRAMING PLAN  
SCALE: 1/4"=1'-0"

REFER TO S-O.O FOR  
TYPICAL STRUCTURAL  
NOTES & SCHEDULES

LEGEND

- ▬ INTERIOR BEARING WALL
- ▬ BEARING WALL ABOVE (B.W.A.), OR SHEARWALL ABOVE (S.W.A.)
- ▬ BEAM / HEADER
- ▬ INTERIOR SHEAR WALL PANEL OR EXTERIOR SHEAR WALL w/ 3" o.c. EDGE NAILING
- ▬ INDICATES AREA OF ROOF OVERFRAMING
- J.L. METAL HANGER
- \* INDICATES POST ABOVE, PROVIDE SOLID BLOCKING UNDER POST OR JAMB ABOVE.
- ▲ INDICATES HOLD-DOWN
- INDICATES PIPE FILE

HOLD-DOWN SCHEDULE

| SYMBOL | SPECIFICATION   |
|--------|---|
| ▶      | HD-1 SIMPSON 5THD14 (R.J) HOLD-DOWN                                 |
| ▶      | HD-5 SIMPSON C516 STRAP TIE (14" END LENGTH)                        |
| ▶      | HD-6 SIMPSON MSTC40 STRAP TIE (CENTER STRAP ON FLOOR SYSTEM U.N.O.) |
| ▶      | HD-7 SIMPSON MSTC66 STRAP TIE (CENTER STRAP ON FLOOR SYSTEM U.N.O.) |



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M&K project number:  
**203-22010**  
project mgr: NJM  
drawn by: LGH  
issue date: 05-04-22

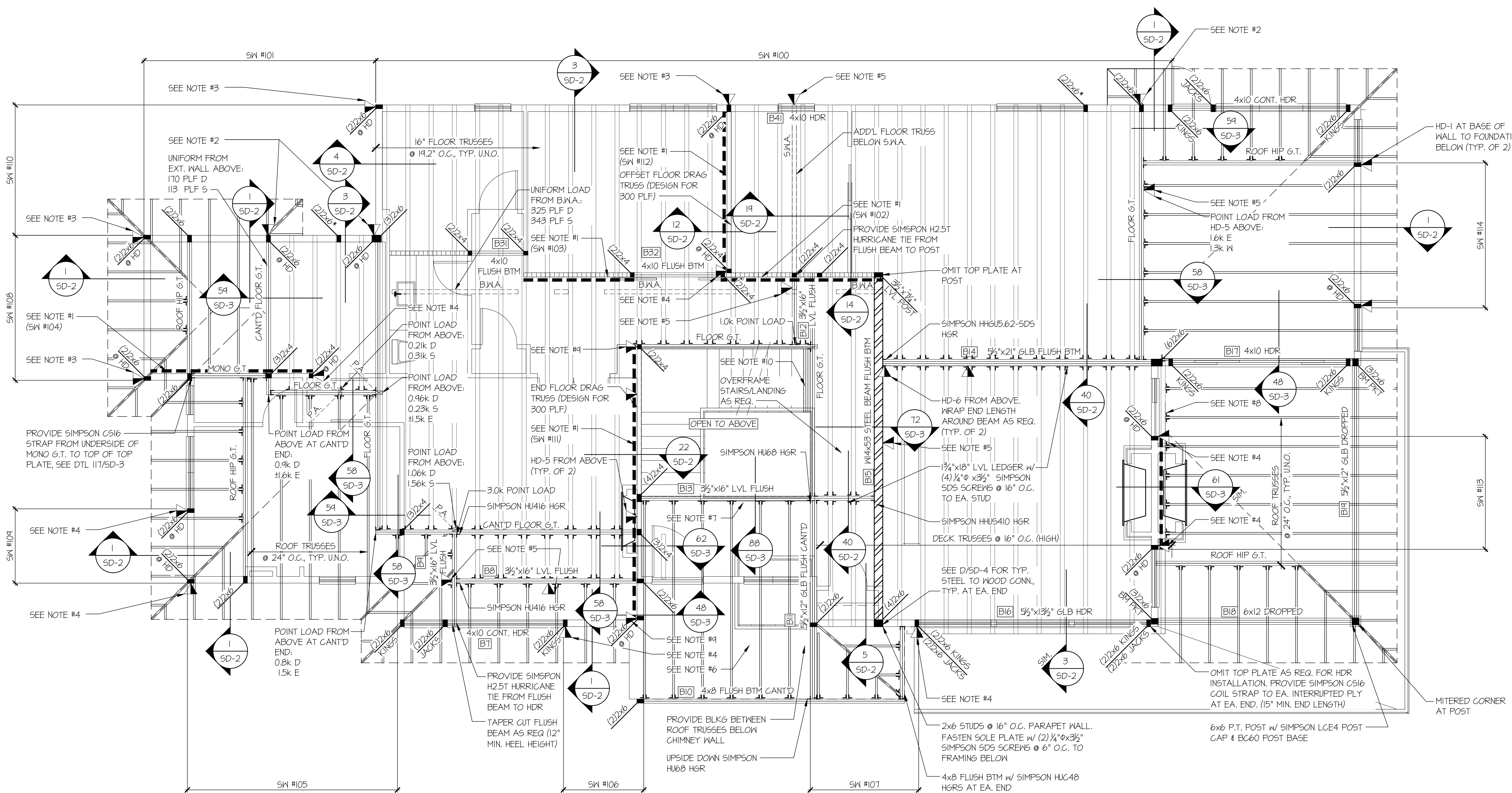
REVISIONS:

| date:      | initial: |
|------------|----------|
| 04/28/2023 | LGH      |
| 06/21/2023 | LGH      |
| 10/05/2023 | LGH      |
| 11/27/2023 | LGH      |

ARCHITECTURAL  
INNOVATIONS

UPPER FLOOR FRMG PLAN  
3036 67TH AVE. SE  
MERCER ISLAND, WASHINGTON

sheet:  
**S-2.0**



- 4x10 HDR @ ALL EXT. OPENINGS (TYP. U.N.O.) [B30]
- @ STEEL BEAMS: PROVIDE SOLID 2x LVL WEB PACKOUT FASTENED TO WEB w/ 1/2" DIA. THRU BOLTS @ 24" o.c. STAGGERED. ALSO, PROVIDE 2x TOP PLATE FASTENED w/ P.A.F.'s (HILTI X-U PINS OR EQUAL) @ 16" o.c. STAGGERED, OR 1/2" DIA. BOLTS @ 48" o.c. STAGGERED.
- NOTE #1: PROVIDE 1/4" OSB/PLYWOOD SHEATHING AND FASTEN PER TYP. EXT. SHTG SPECS (SEE NOTES ON S-O.O)
- NOTE #2: HD-5 FROM ABOVE TO TOP OF WALL. HD-1 AT BASE OF WALL TO FOUNDATION BELOW.
- NOTE #3: HD-1 AT BASE OF WALL TO FOUNDATION BELOW.
- NOTE #4: HD-5 AT BASE OF WALL TO FRAMING BELOW.
- NOTE #5: HD-5 FROM ABOVE. WRAP END LENGTH AROUND BEAM AS REQ.
- NOTE #6: PROVIDE 2x6 STUDS @ 16" o.c. FROM TOP OF ROOF SHEATHING TO TOP OF CHIMNEY WALL. FASTEN SOLE PLATE w/ (2) 1/4" x 3 1/2" SIMPSON SDS SCREWS @ 6" o.c. TO ROOF TRUSSES/BLKG. TYP. AT CHIMNEY WALLS.
- NOTE #7: 2x6 LEDGER w/ (3) 3"x0.131" NAILS @ 16" o.c. TO GIRDER TRUSS/FLUSH BEAM
- NOTE #8: 2x6 LEDGER w/ (4) 3"x0.131" NAILS @ 16" o.c. TO EA. STUD
- NOTE #9: HD-6 AT BASE OF WALL TO FRAMING BELOW.
- NOTE #10: FASTEN 6x6 TO EA. TRUSS VERTICAL/DIAGONAL w/ (2) 3"x0.131" NAILS

UPPER FLOOR FRAMING PLAN  
SCALE: 1/4"=1'-0"

REFER TO S-0.0 FOR  
TYPICAL STRUCTURAL  
NOTES & SCHEDULES

LEGEND

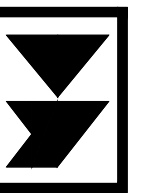
- [Symbol] INTERIOR BEARING WALL
- [Symbol] BEARING WALL ABOVE (B/W.A.), OR SHEARWALL ABOVE (S/W.A.)
- [Symbol] BEAM / HEADER
- [Symbol] INTERIOR SHEAR WALL PANEL OR EXTERIOR SHEAR WALL w/ 3" o.c. EDGE NAILING
- [Symbol] INDICATES AREA OF ROOF OVERFRAMING
- [Symbol] J L METAL HANGER
- [Symbol] \* INDICATES POST ABOVE. PROVIDE SOLID BLOCKING UNDER POST OR JAMB ABOVE.
- [Symbol] INDICATES HOLD-DOWN
- [Symbol] INDICATES PIPE FILE

HOLD-DOWN SCHEDULE

| SYMBOL   | SPECIFICATION   |
|----------|---|
| [Symbol] | HD-1 SIMPSON 5THD14 (R.J) HOLD-DOWN                                 |
| [Symbol] | HD-5 SIMPSON CS16 STRAP TIE (14" END LENGTH)                        |
| [Symbol] | HD-6 SIMPSON MSTC40 STRAP TIE (CENTER STRAP ON FLOOR SYSTEM U.N.O.) |
| [Symbol] | HD-7 SIMPSON MSTC66 STRAP TIE (CENTER STRAP ON FLOOR SYSTEM U.N.O.) |



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M&K project number:  
203-22010

project mgr: NJM  
drawn by: LGH  
issue date: 05-04-22

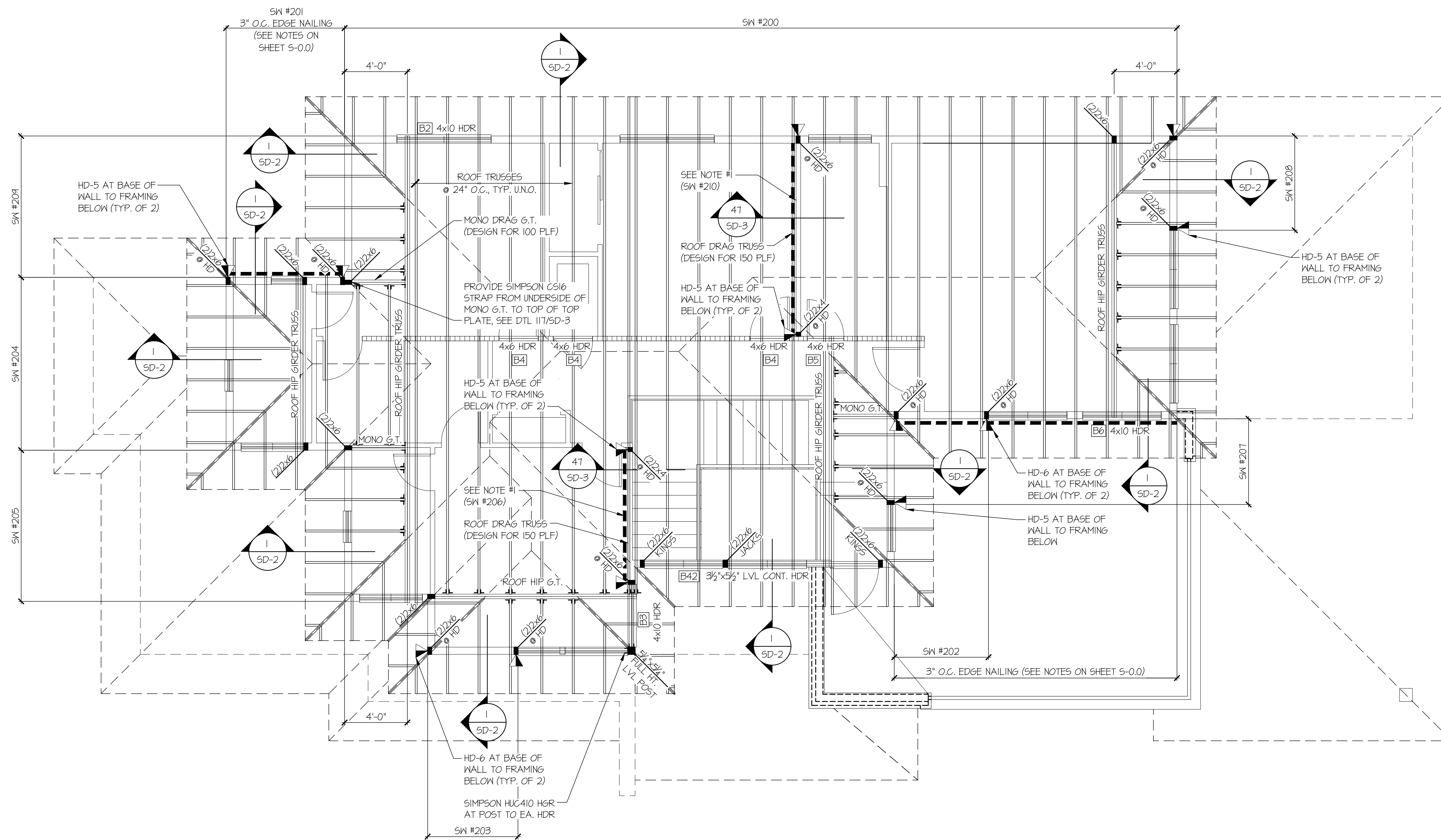
REVISIONS:

| date:      | initial: |
|------------|----------|
| 04/28/2023 | LGH      |
| 06/21/2023 | LGH      |
| 10/05/2023 | LGH      |
| 11/27/2023 | LGH      |

ARCHITECTURAL  
INNOVATIONS

ROOF FRAMING PLAN  
3036 67TH AVE. SE  
MERCER ISLAND, WASHINGTON

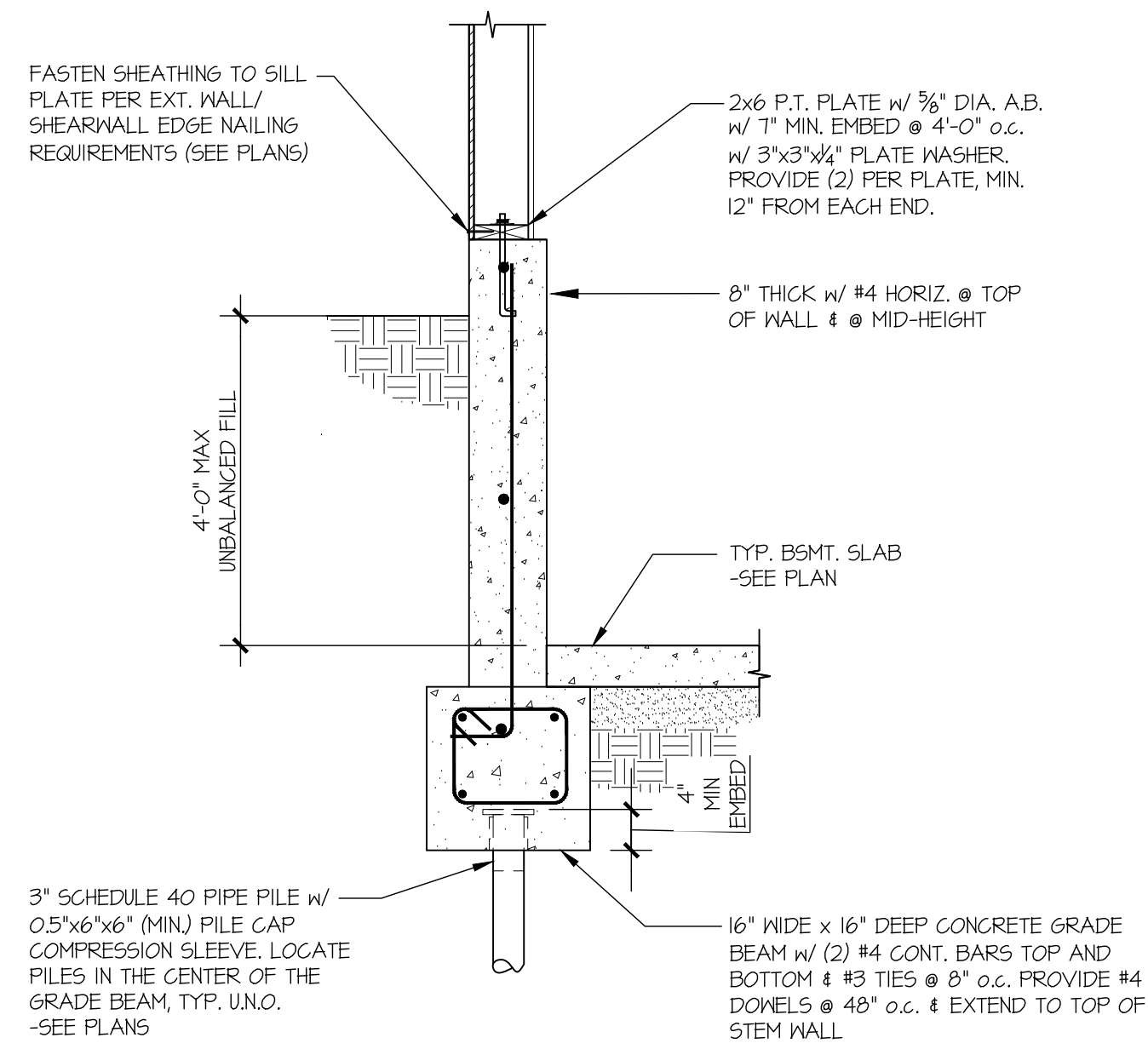
sheet:  
**S-3.0**



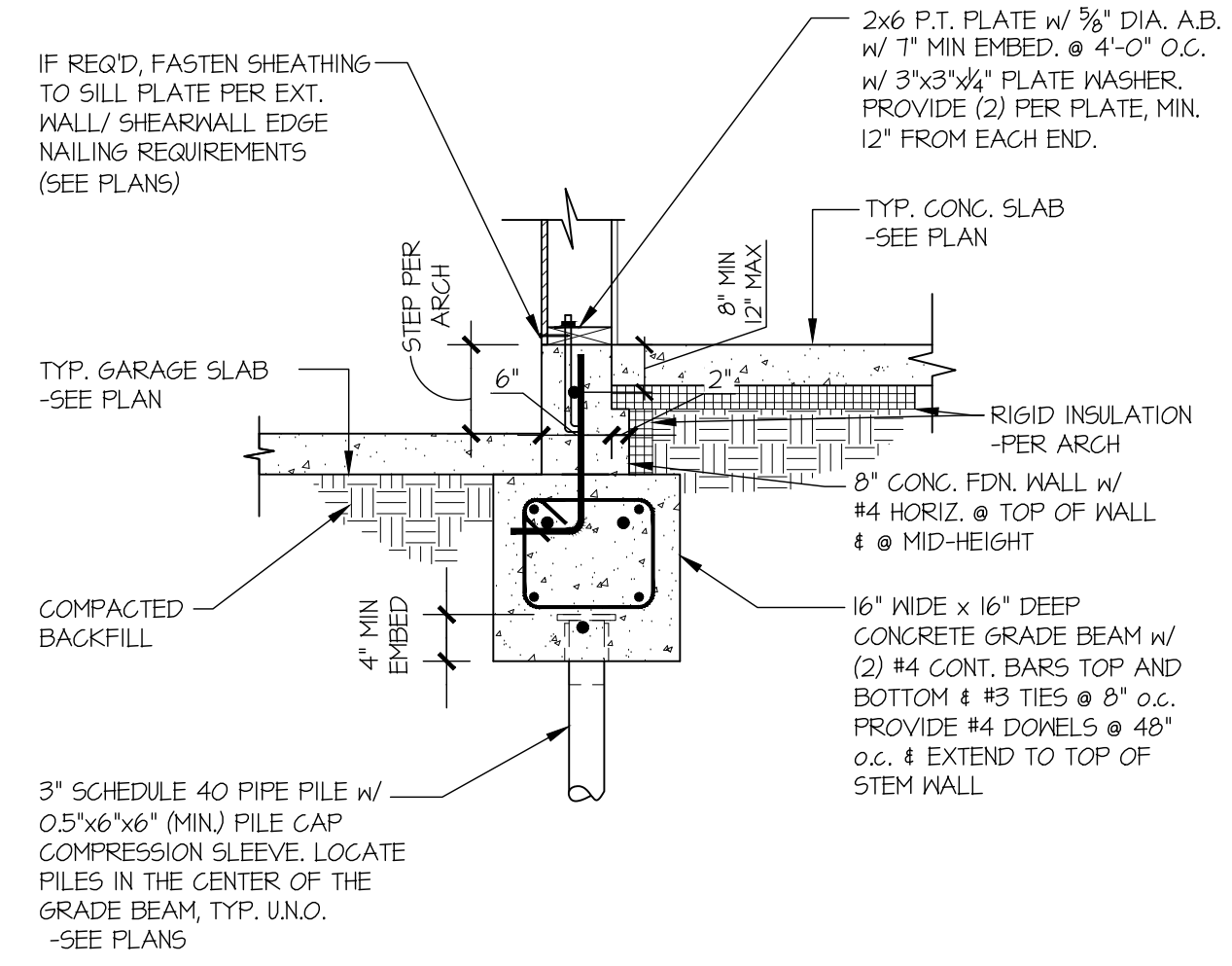
4x10 HDR @ ALL EXT. OPENINGS (TYP. U.N.O.) [B]

NOTE #1: PROVIDE 3/8" OSB/PLYWOOD SHEATHING AND FASTEN PER TYP. EXT. SHTG SPECS (SEE NOTES ON S-0.0)

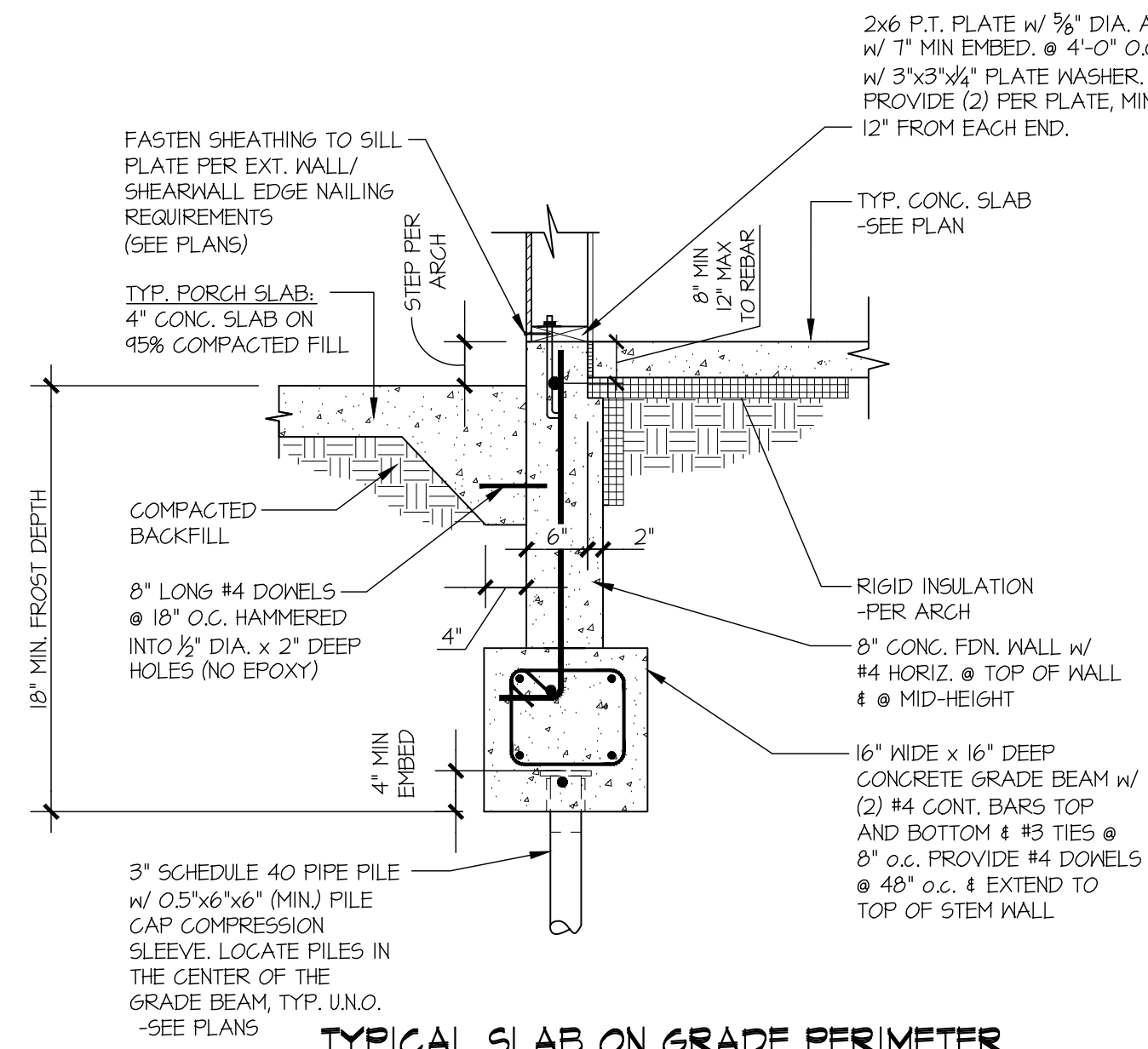
**1** ROOF FRAMING PLAN  
SCALE: 1/4"=1'-0"



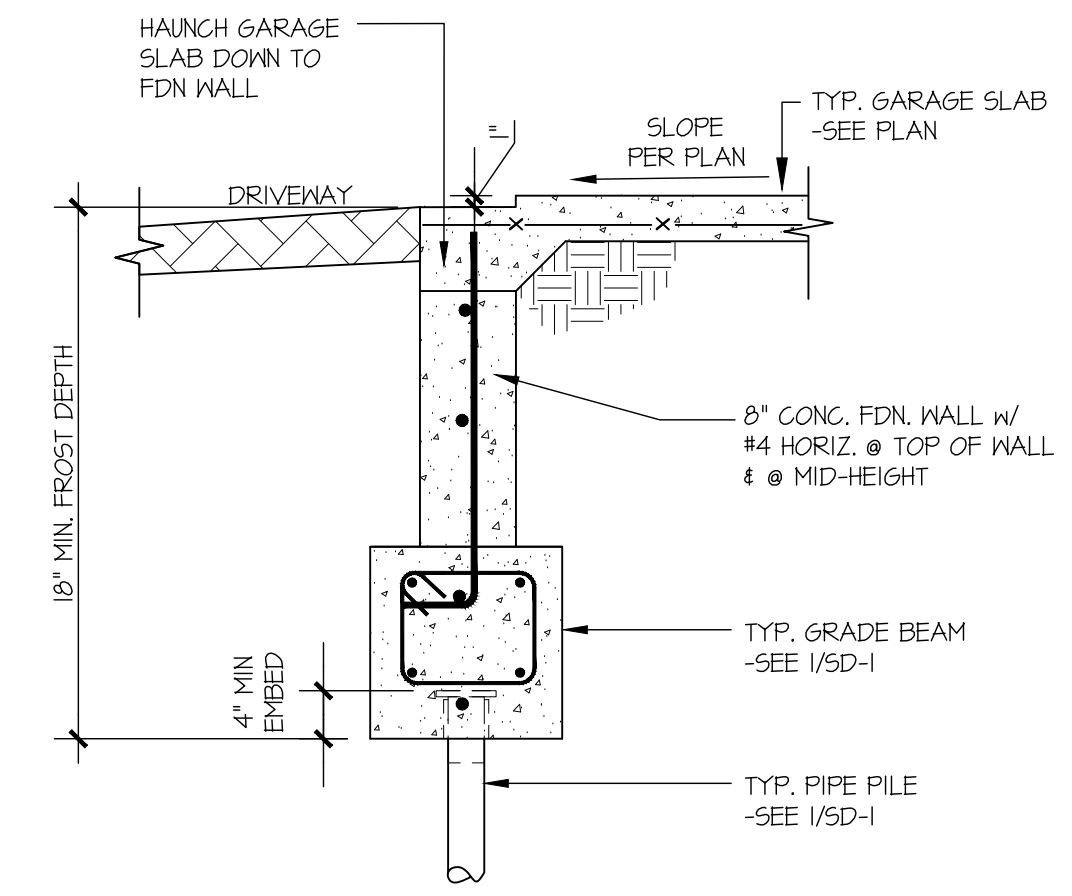
1 SECTION  
SCALE: 3/4"=1'-0"



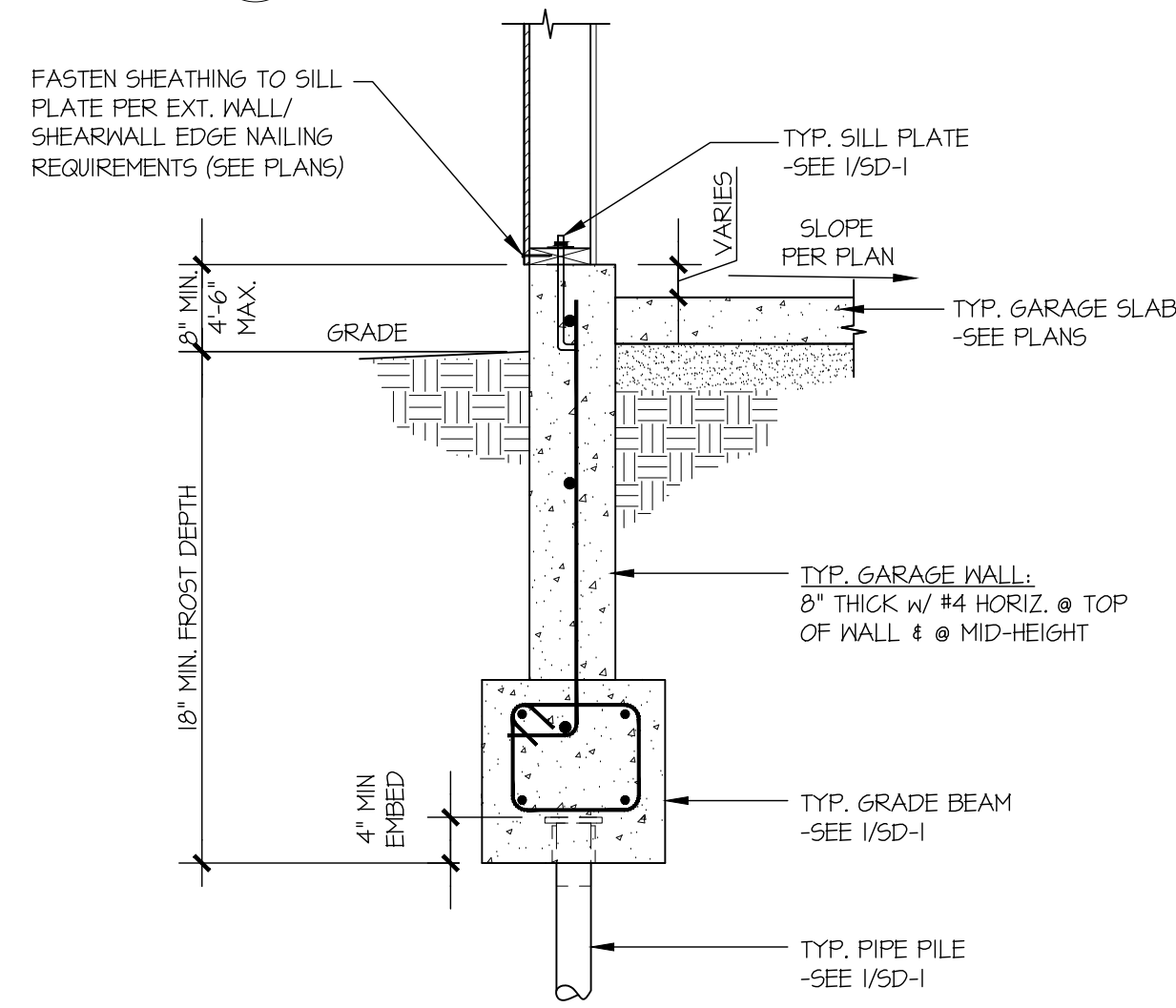
3 TYPICAL SLAB ON GRADE FOOTING @ GARAGE  
SCALE: 3/4"=1'-0"



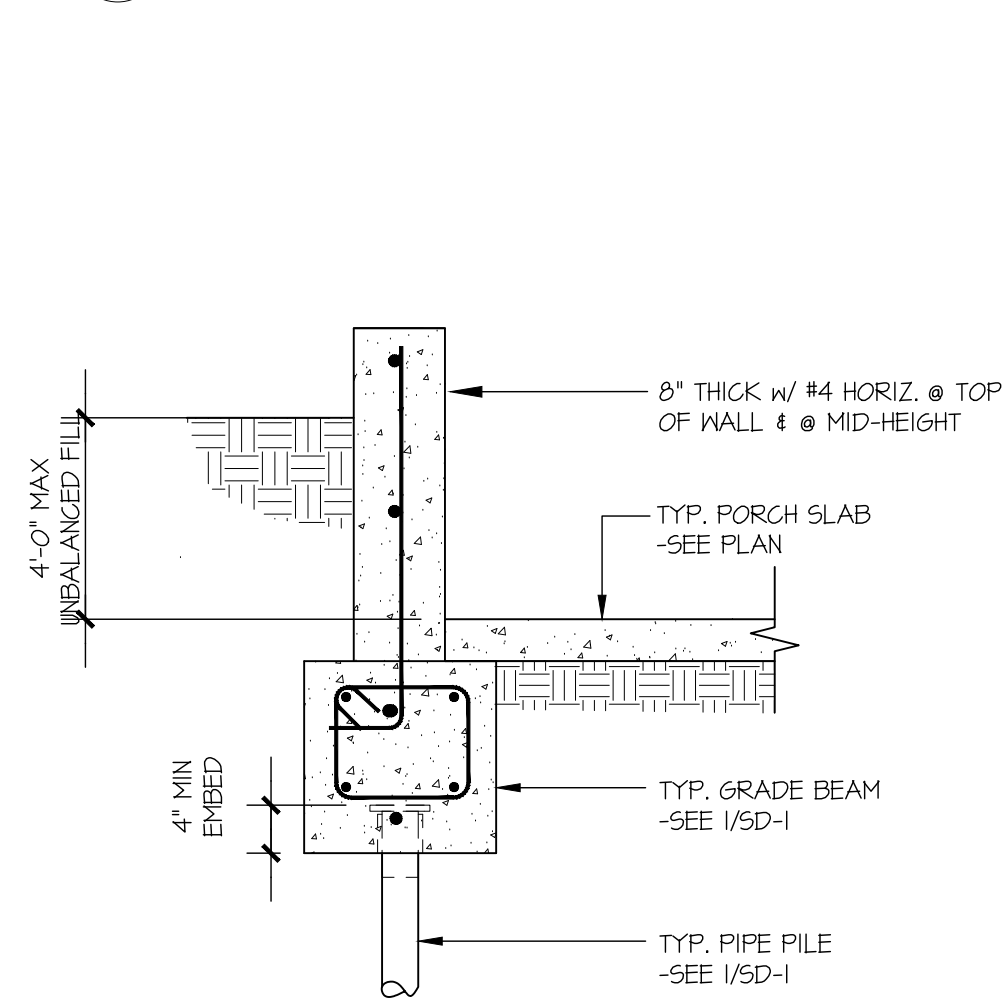
4 TYPICAL SLAB ON GRADE PERIMETER FOOTING  
SCALE: 3/4"=1'-0" @ PORCH SLAB



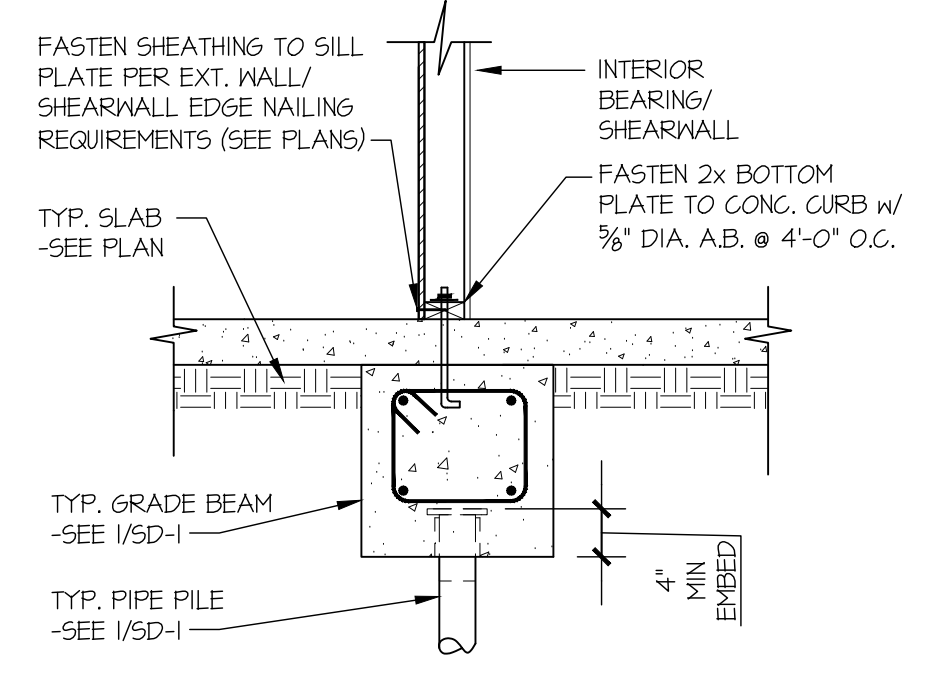
5 TYPICAL CONCRETE FOOTING @ GARAGE DOOR OPENING  
SCALE: 3/4"=1'-0"



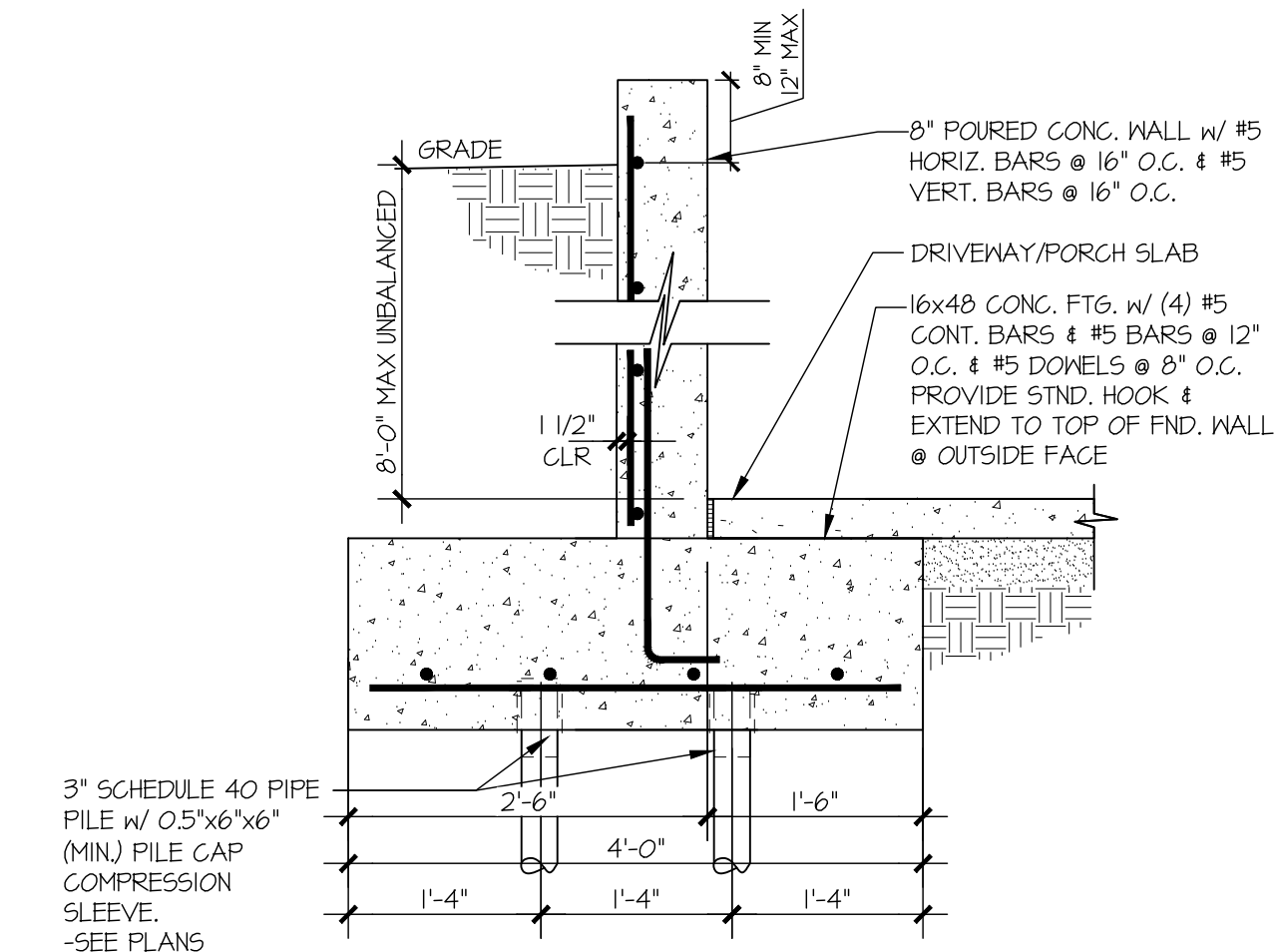
6 TYPICAL EXT. GARAGE FOUNDATION  
SCALE: 3/4"=1'-0"



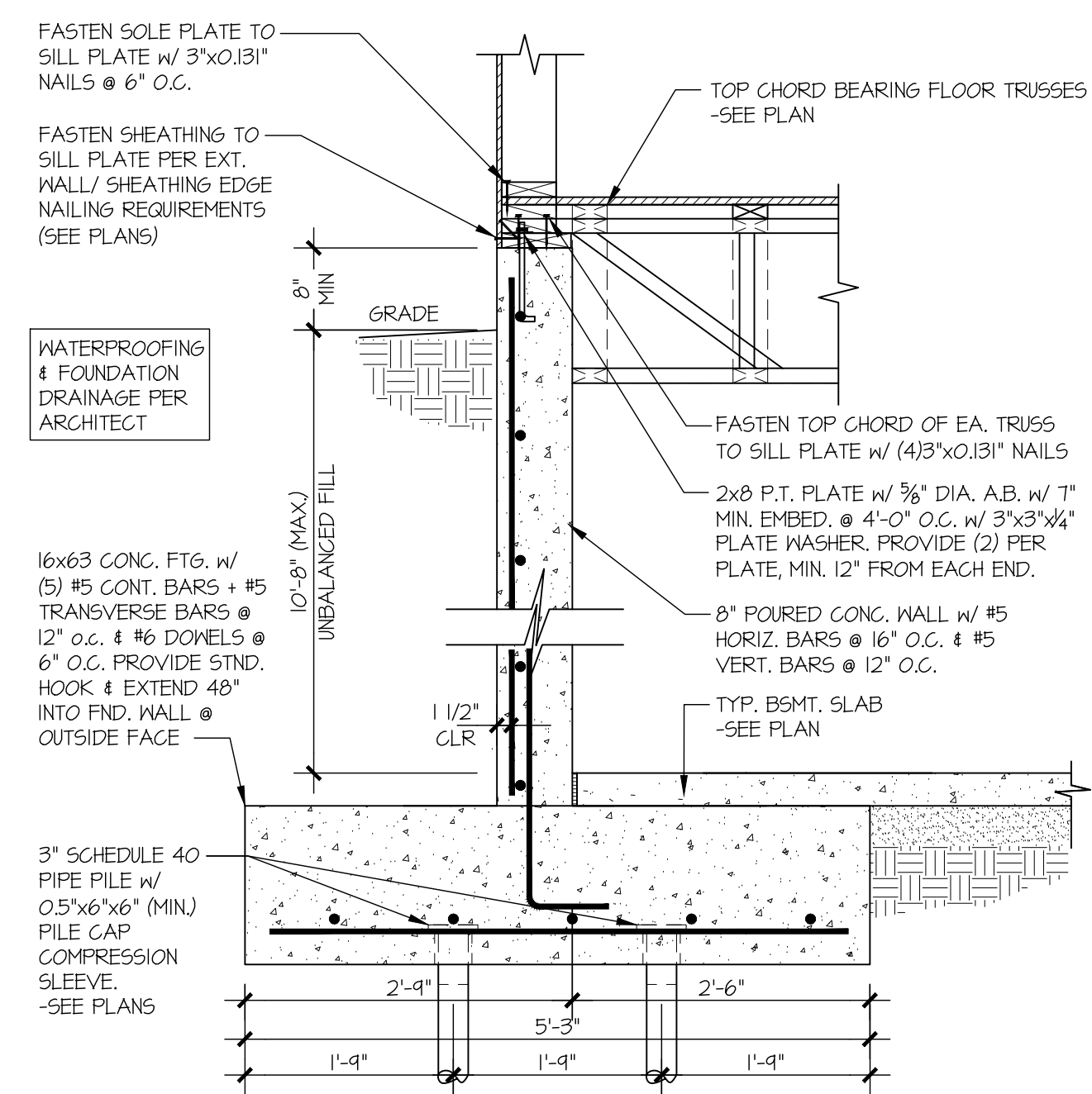
7 SECTION  
SCALE: 3/4"=1'-0"



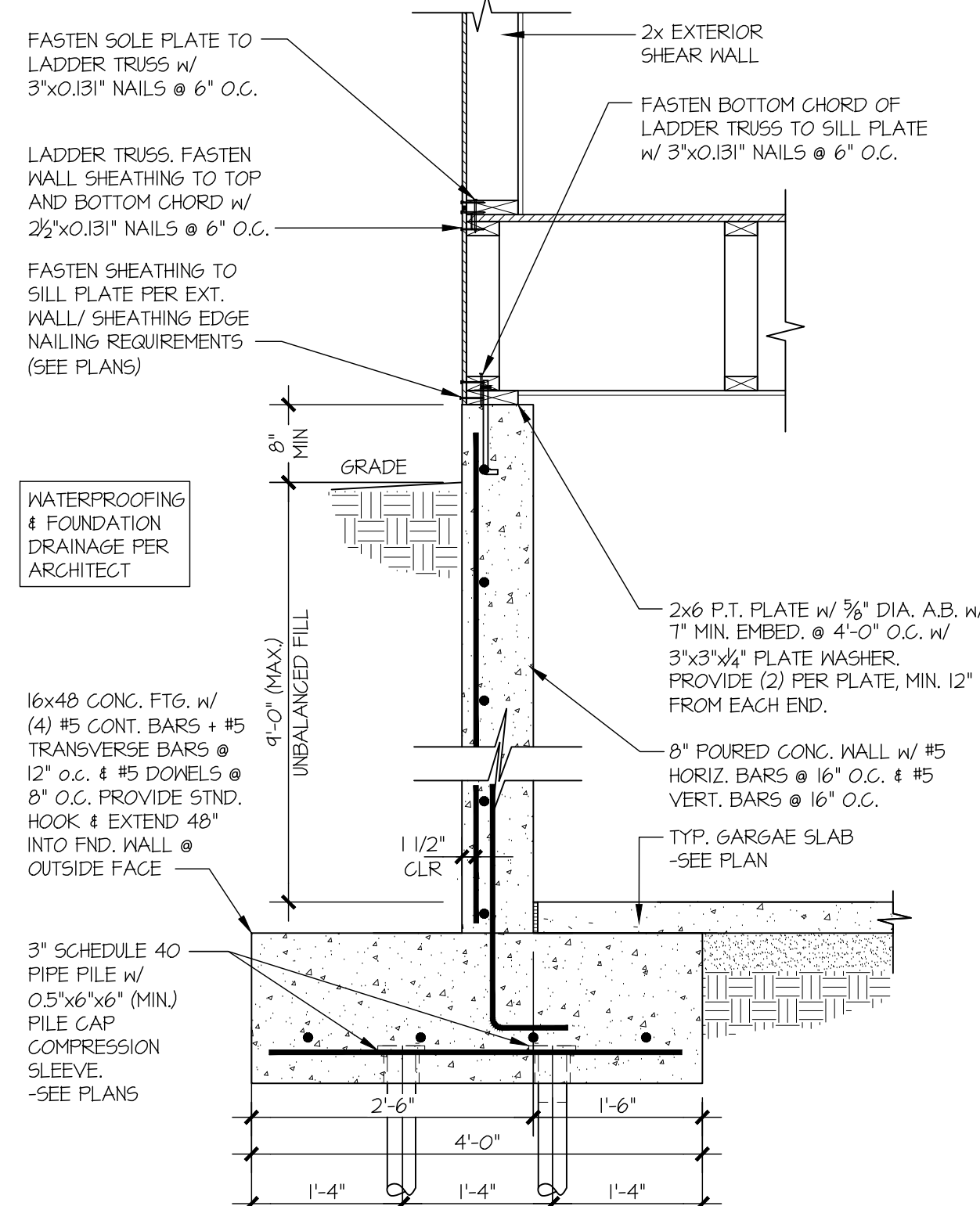
8 TYPICAL THICKENED SLAB @ INTERIOR BEARING WALL  
SCALE: 3/4"=1'-0"



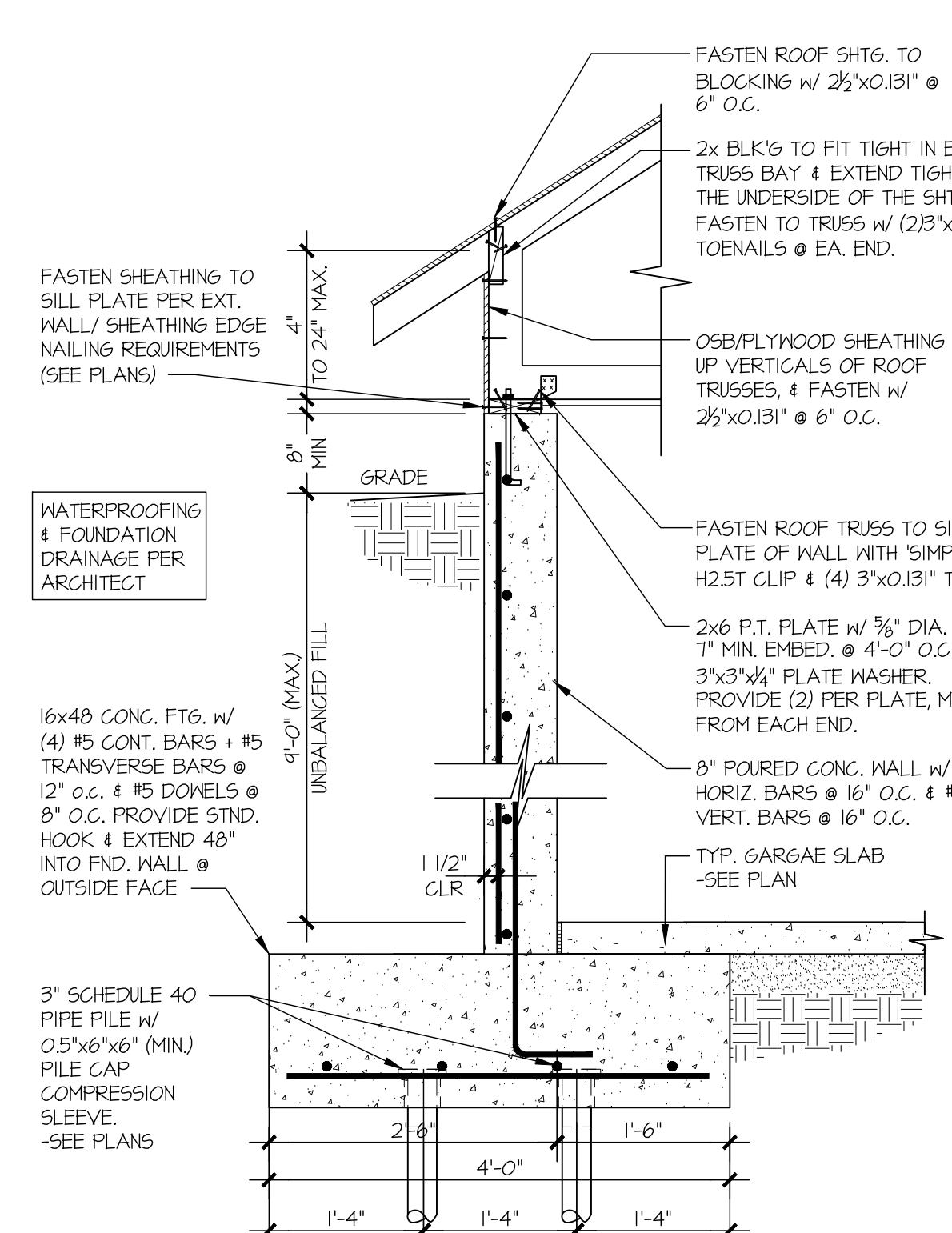
9 SITE RETAINING WALL  
SCALE: 3/4"=1'-0"



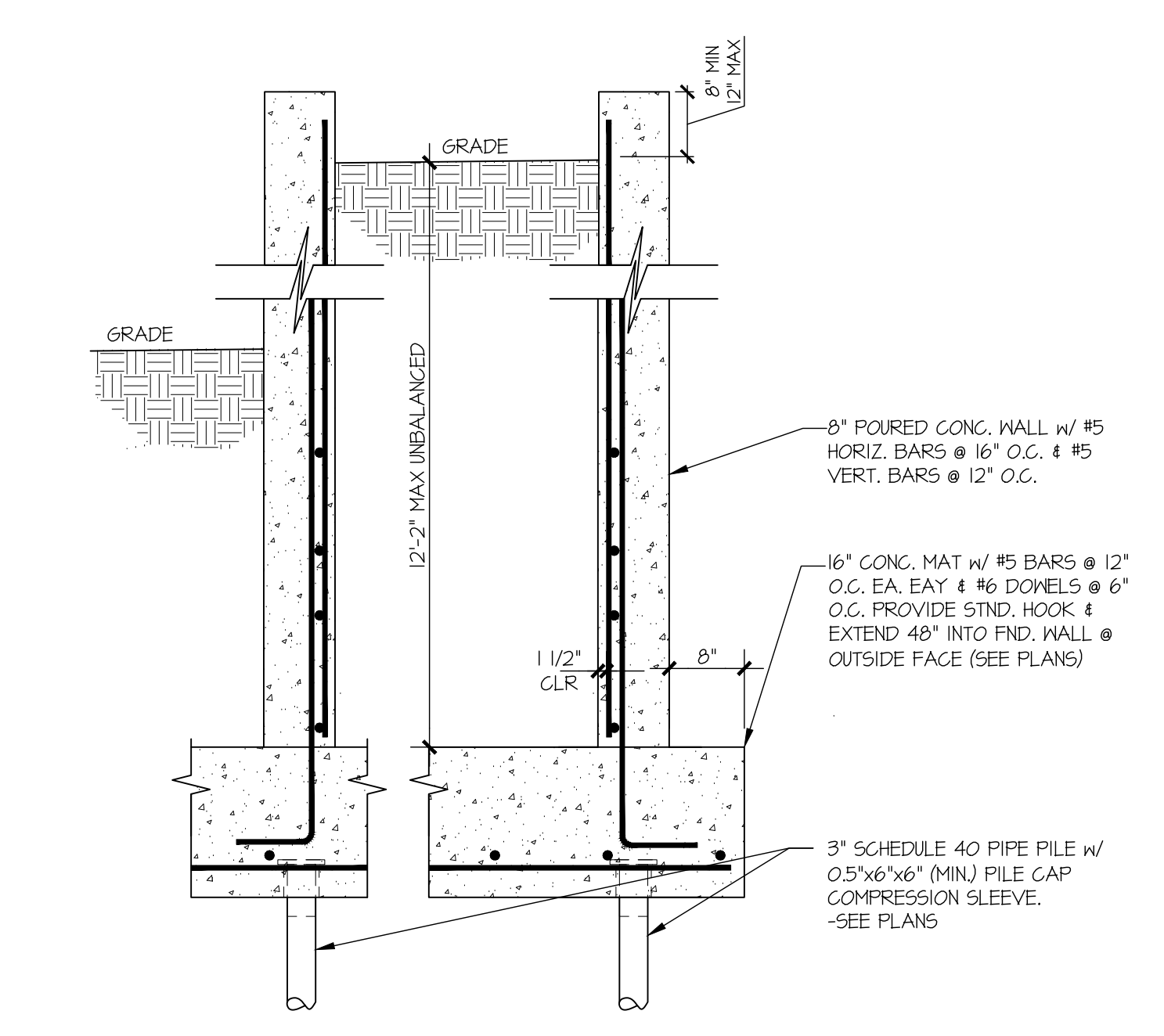
10 BASEMENT FOUNDATION WALL  
SCALE: 3/4"=1'-0"



11 GARAGE FOUNDATION WALL  
SCALE: 3/4"=1'-0"



12 GARAGE FOUNDATION WALL  
SCALE: 3/4"=1'-0"



13 ENTRY RETAINING WALL  
SCALE: 3/4"=1'-0"



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M&K project number: 203-22010

project mgr: NJM  
drawn by: LGH  
issue date: 05-04-22

| REVISIONS:                    | DATE:      | INITIAL: |
|-------------------------------|------------|----------|
| AS-BUILT REVISION             | 04/28/2023 | LGH      |
| PLAN REVIEW COMMENTS          | 06/21/2023 | LGH      |
| PIPE FILE REVISION            | 10/05/2023 | LGH      |
| AS-BUILT PLAN REVIEW COMMENTS | 11/27/2023 | LGH      |

ARCHITECTURAL  
INNOVATIONS

FOUNDATION DETAILS  
3036 67TH AVE. SE  
MERCER ISLAND, WASHINGTON

sheet:  
**SD-1**



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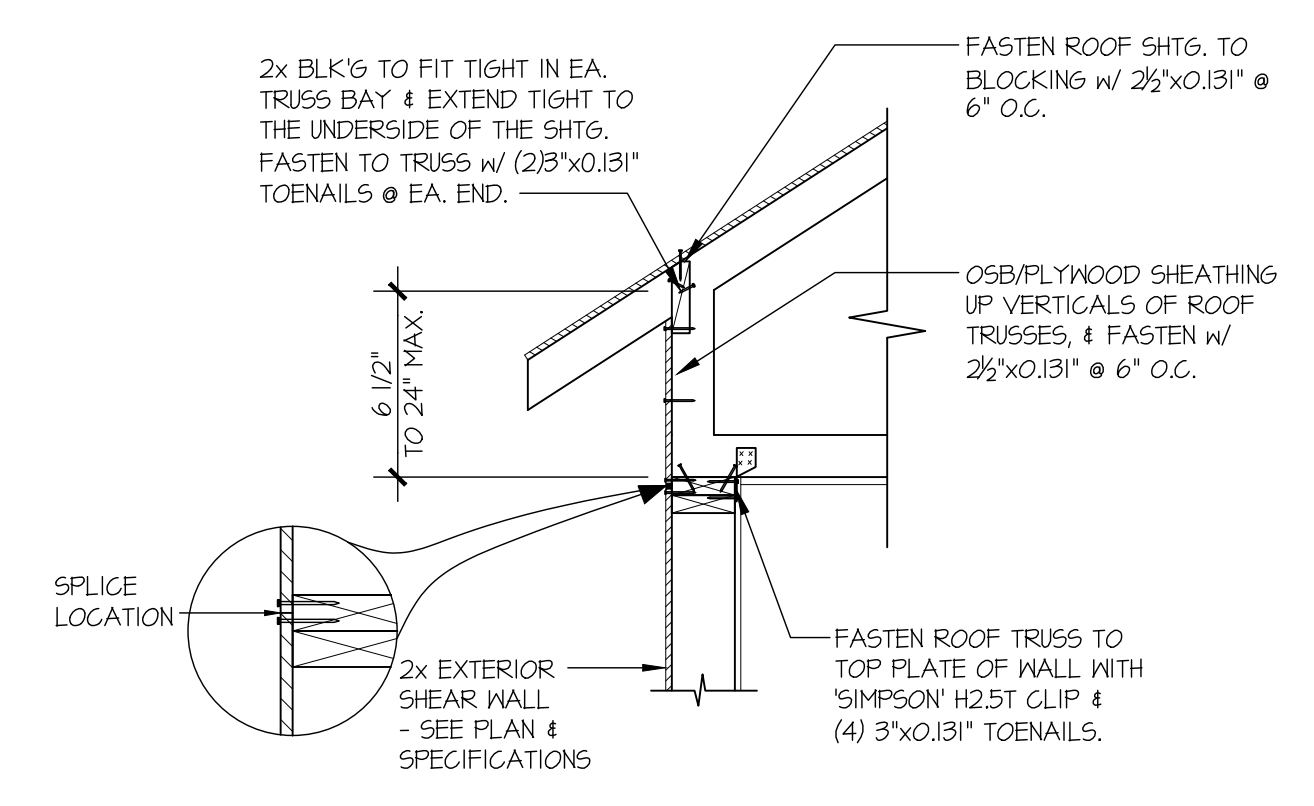
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**203-22010**  
project mgr: NJM  
drawn by: LGH  
issue date: 05-04-22

| REVISIONS: |          |
|------------|----------|
| date:      | initial: |
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| 10/05/2023 | LGH      |
| 11/27/2023 | LGH      |

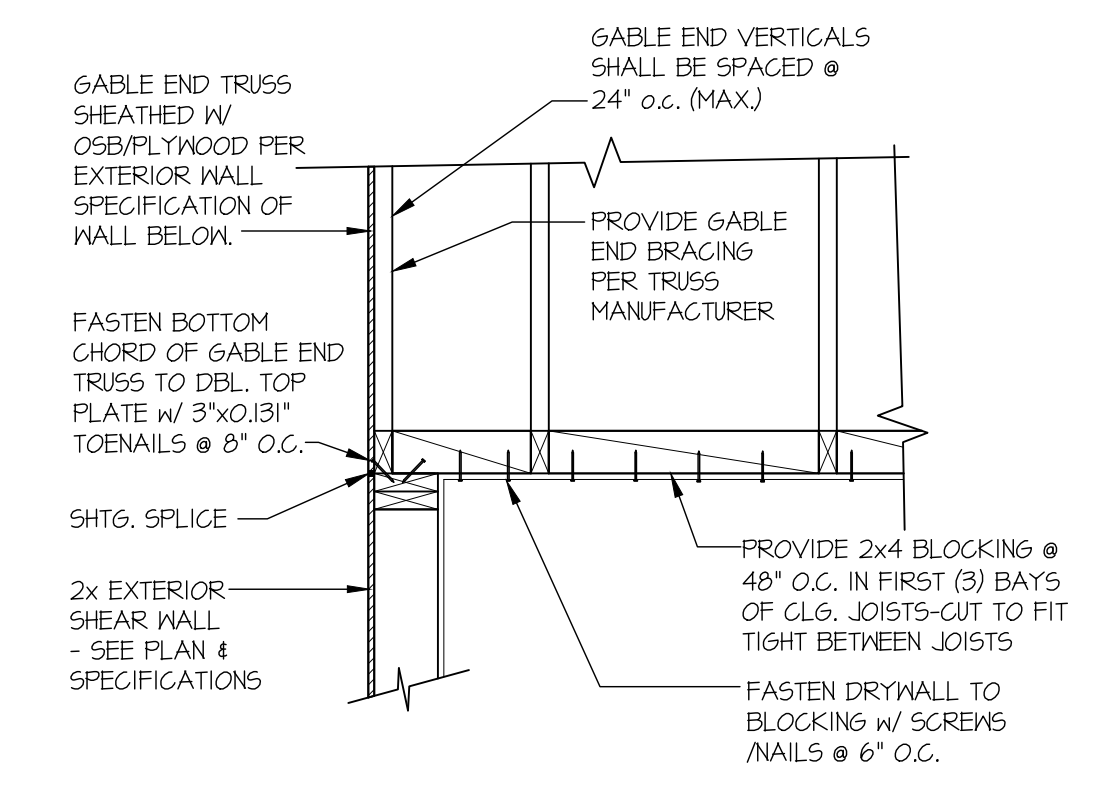
ARCHITECTURAL  
INNOVATIONS

STRUCTURAL DETAILS  
3036 67TH AVE. SE  
MERCER ISLAND, WASHINGTON

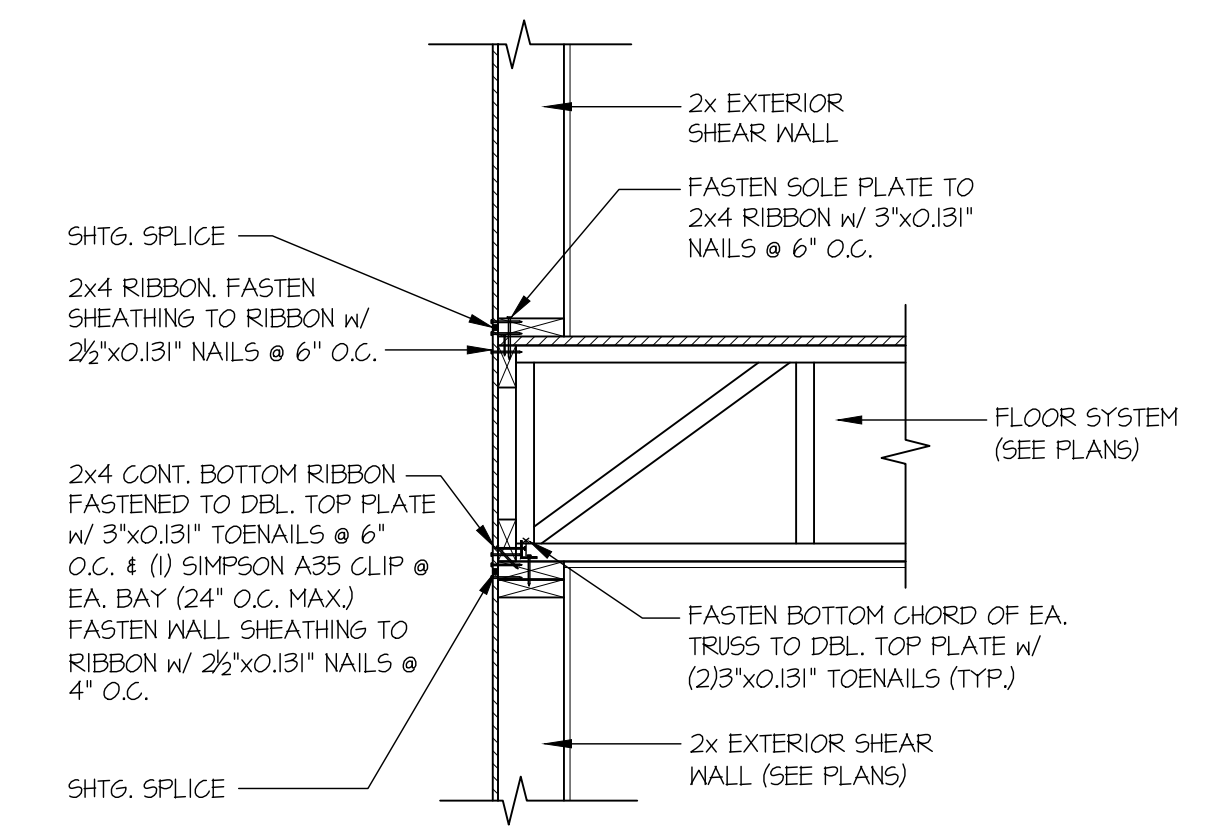
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**SD-2**



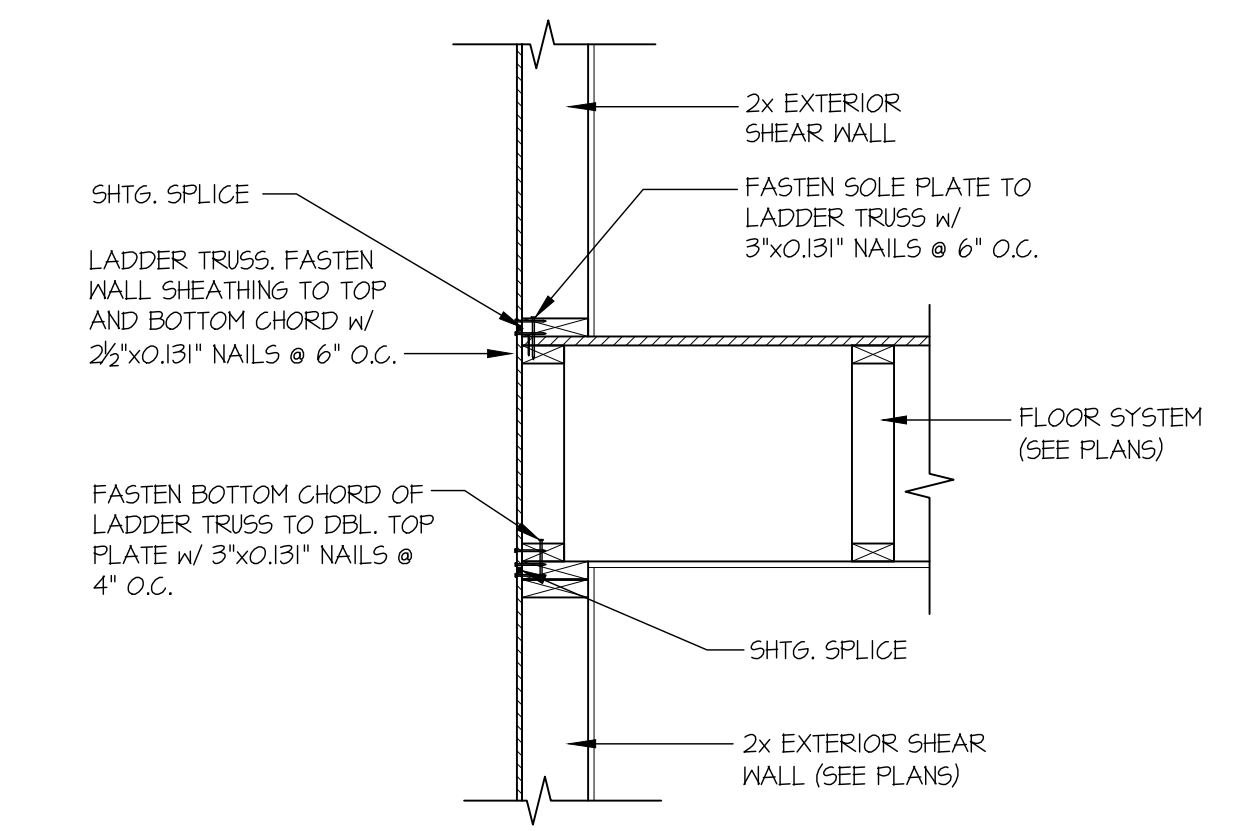
**1** TYPICAL SHEAR TRANSFER  
DETAIL @ RAISED HEEL TRUSS  
SCALE: 3/4"=1'-0" HEEL HEIGHT UP TO 24" MAX.



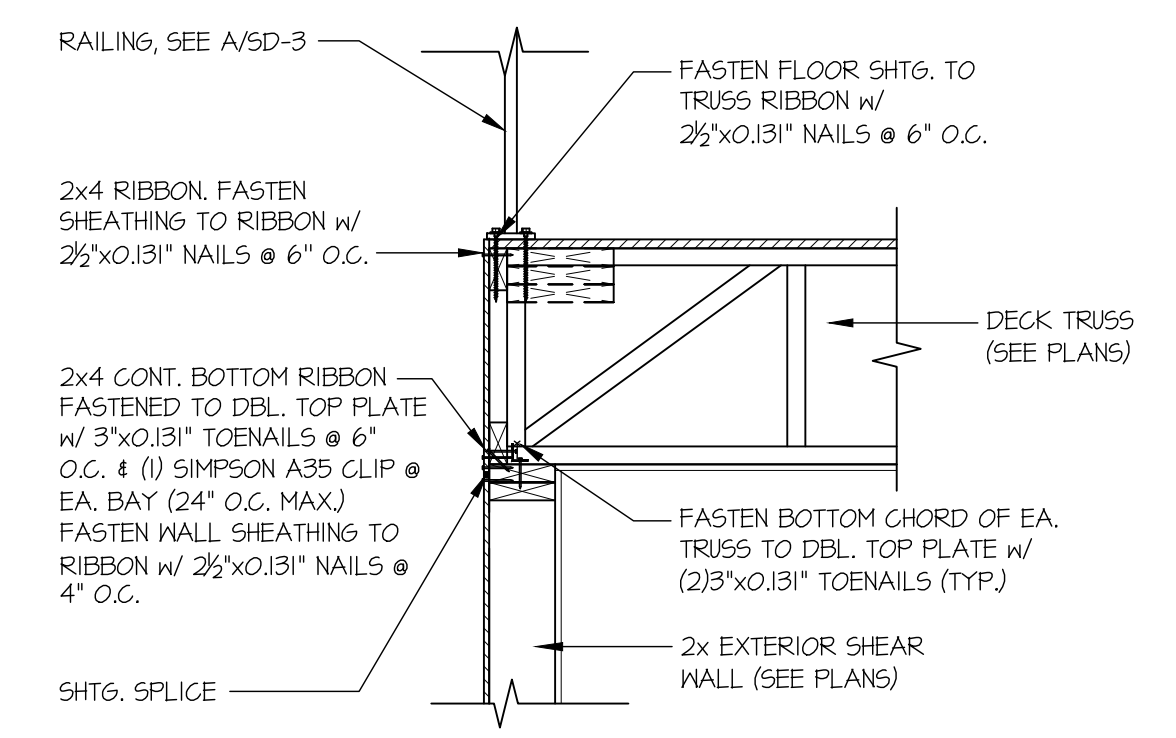
**2** TYPICAL GABLE END DETAIL  
SCALE: 3/4"=1'-0"



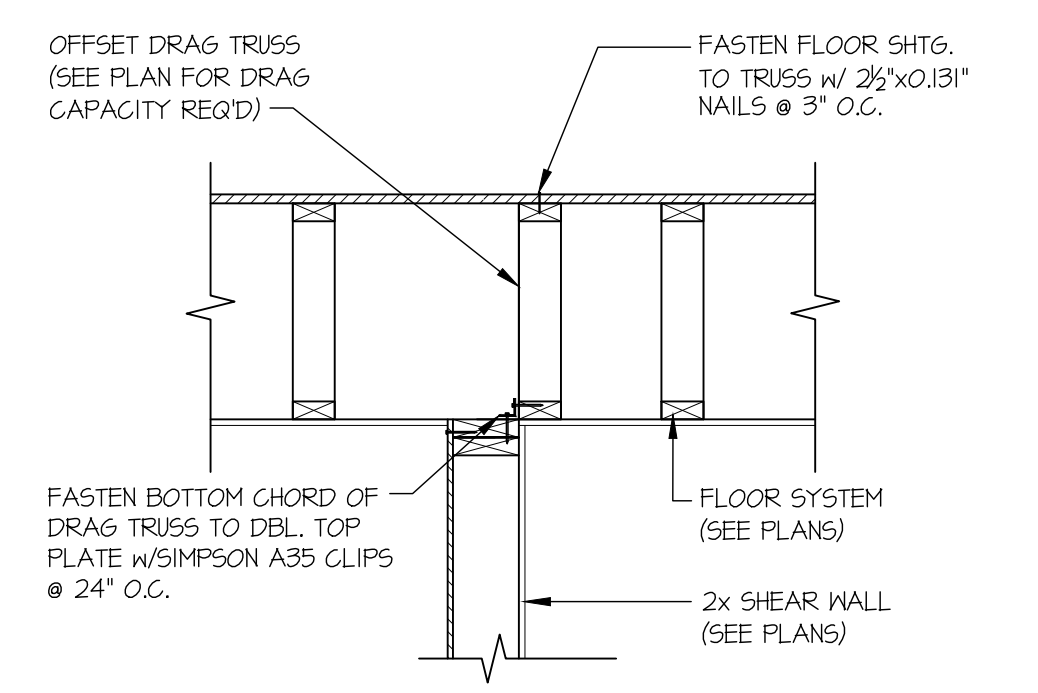
**3** TYPICAL SHEAR TRANSFER DETAIL  
BETWEEN FLOORS @ EXTERIOR WALL  
SCALE: 3/4"=1'-0" PERPENDICULAR FRAMING



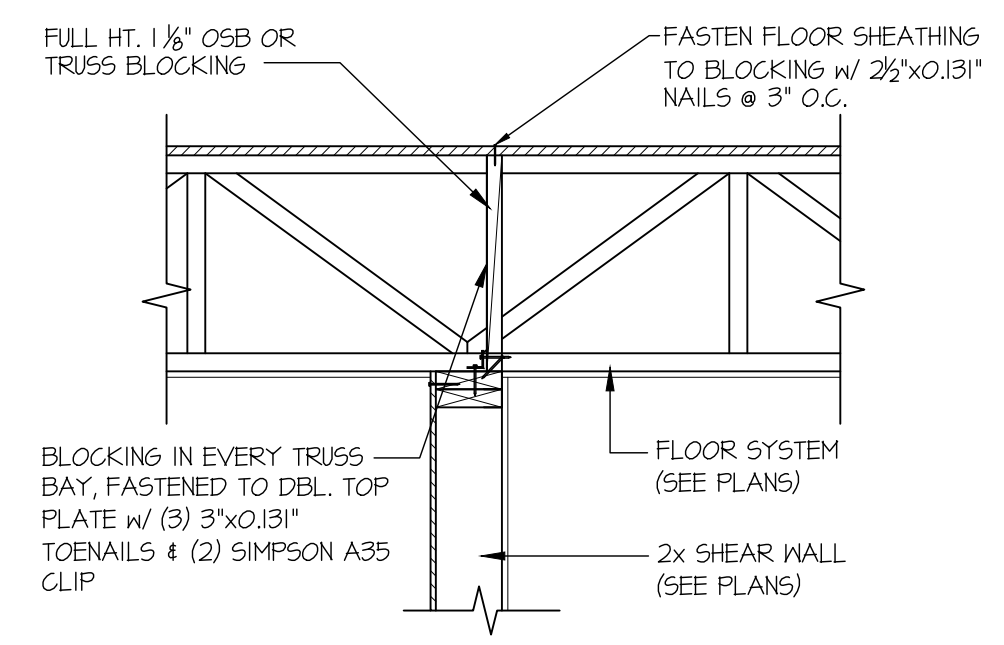
**4** TYPICAL SHEAR TRANSFER DETAIL  
BETWEEN FLOORS @ EXTERIOR WALL  
SCALE: 3/4"=1'-0" PARALLEL FRAMING



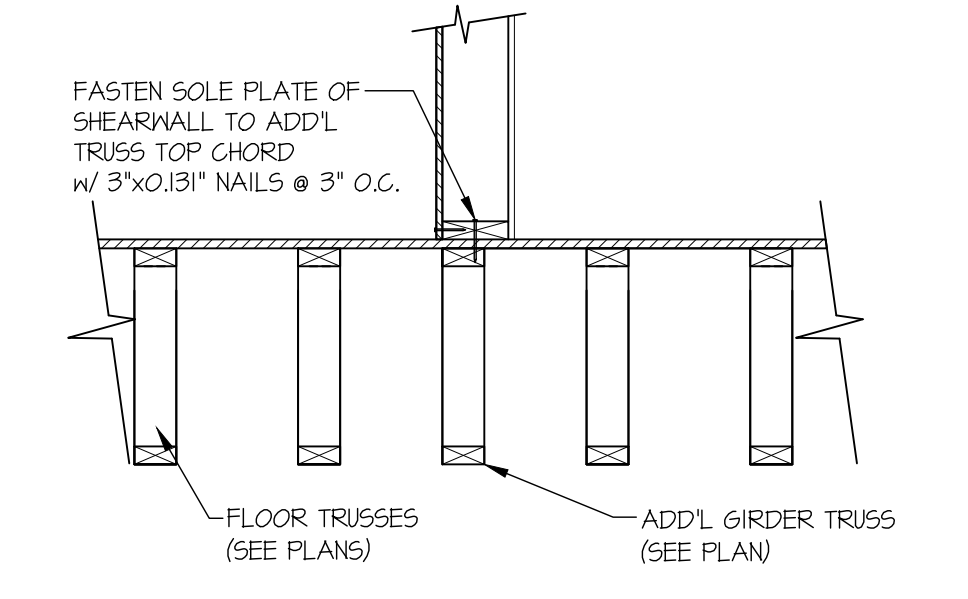
**5** TYPICAL SHEAR TRANSFER DETAIL  
BETWEEN DECK @ EXTERIOR WALL  
SCALE: 3/4"=1'-0" PERPENDICULAR FRAMING



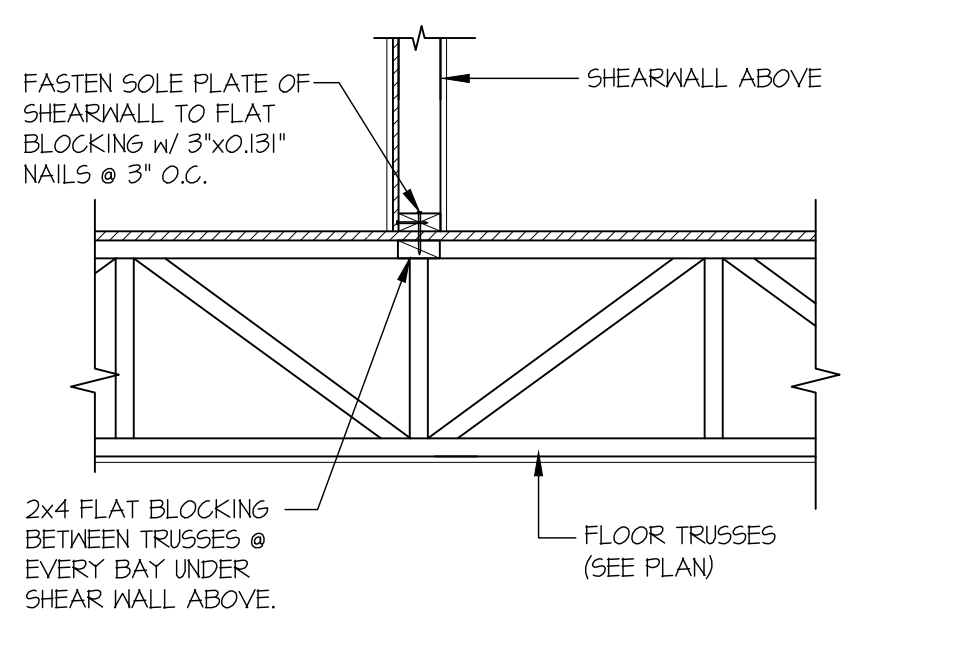
**12** SHEAR TRANSFER DETAIL  
@ SHEAR WALL BELOW  
SCALE: 3/4"=1'-0"



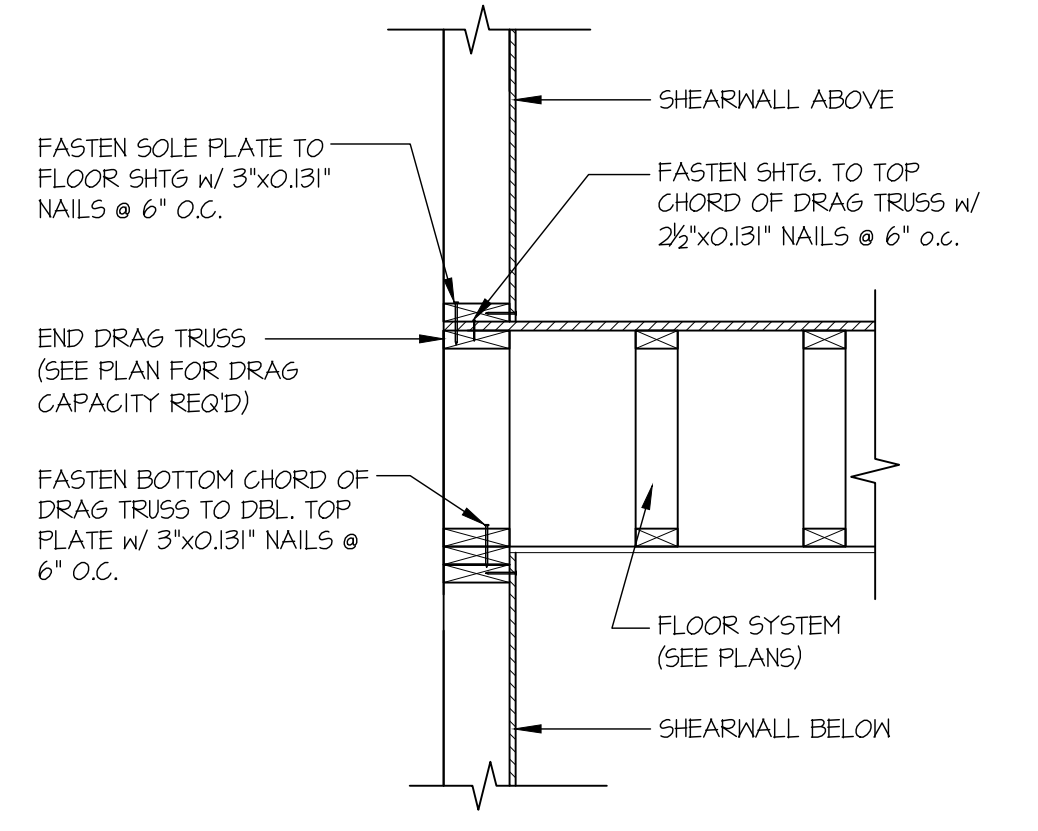
**14** SHEAR TRANSFER DETAIL  
@ SHEAR WALL BELOW  
SCALE: 3/4"=1'-0"



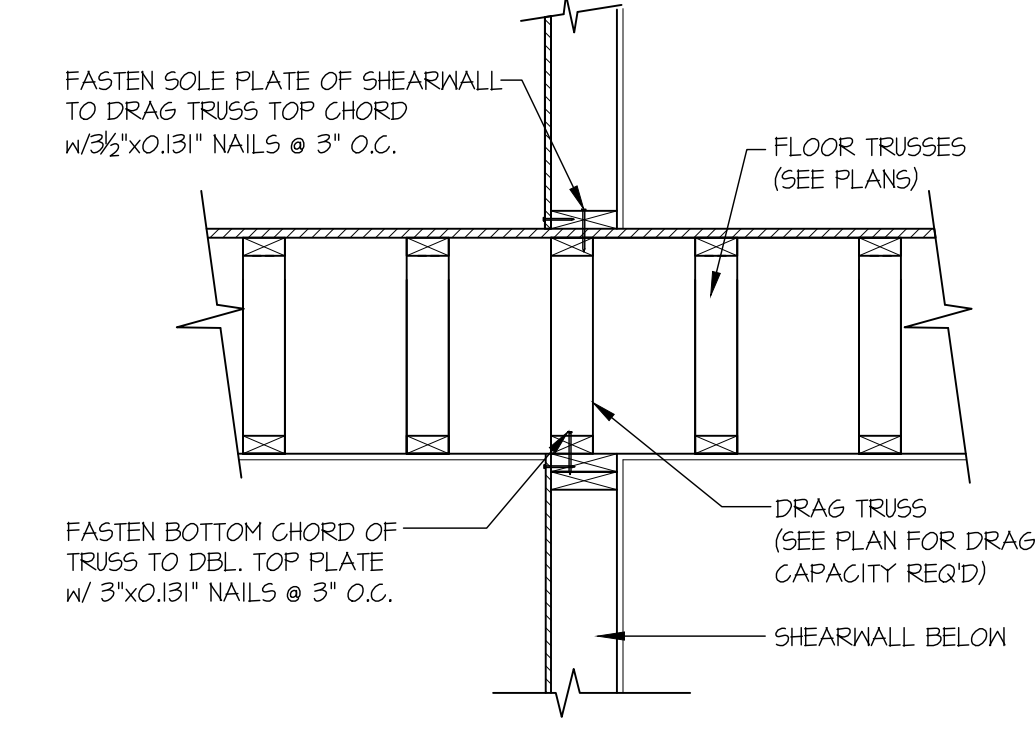
**19** SHEAR TRANSFER DETAIL @  
INTERIOR SHEARWALL ABOVE  
SCALE: 3/4"=1'-0" PARALLEL FRAMING



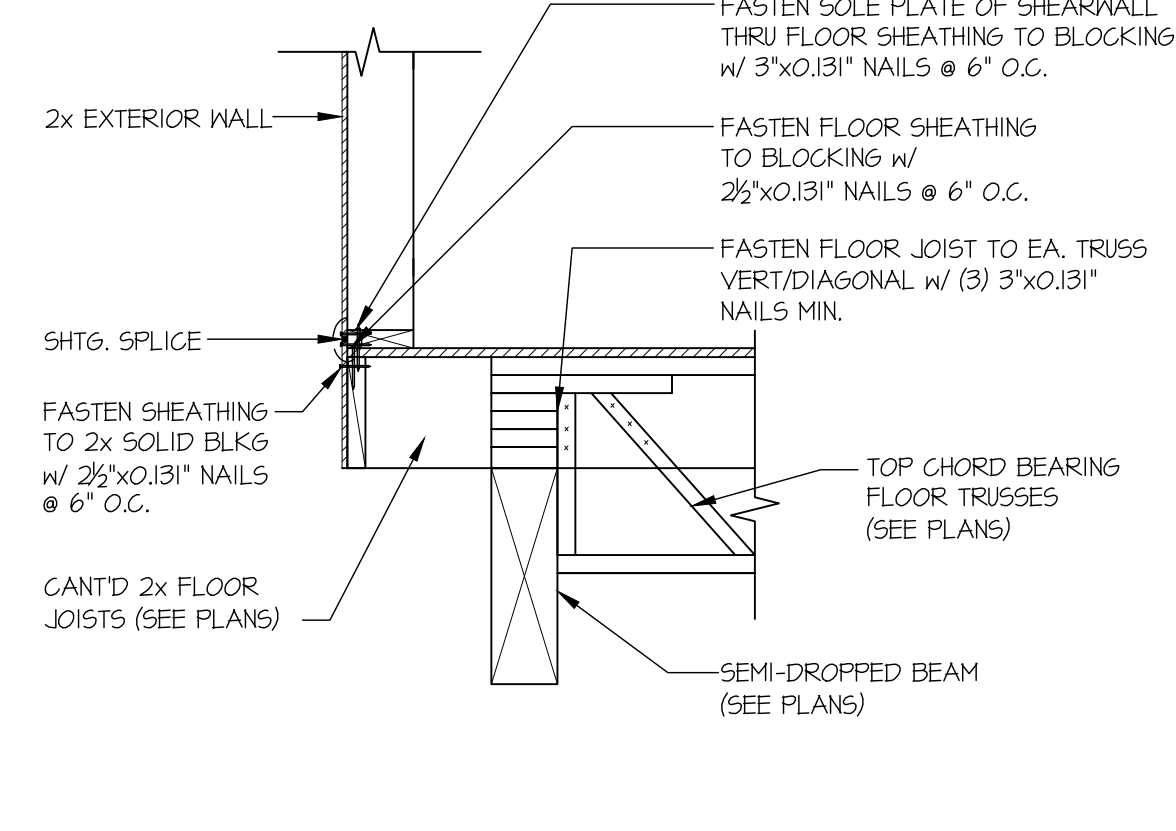
**20** SHEAR TRANSFER DETAIL  
@ INTERIOR SHEAR WALL  
SCALE: 3/4"=1'-0" PERPENDICULAR FRAMING



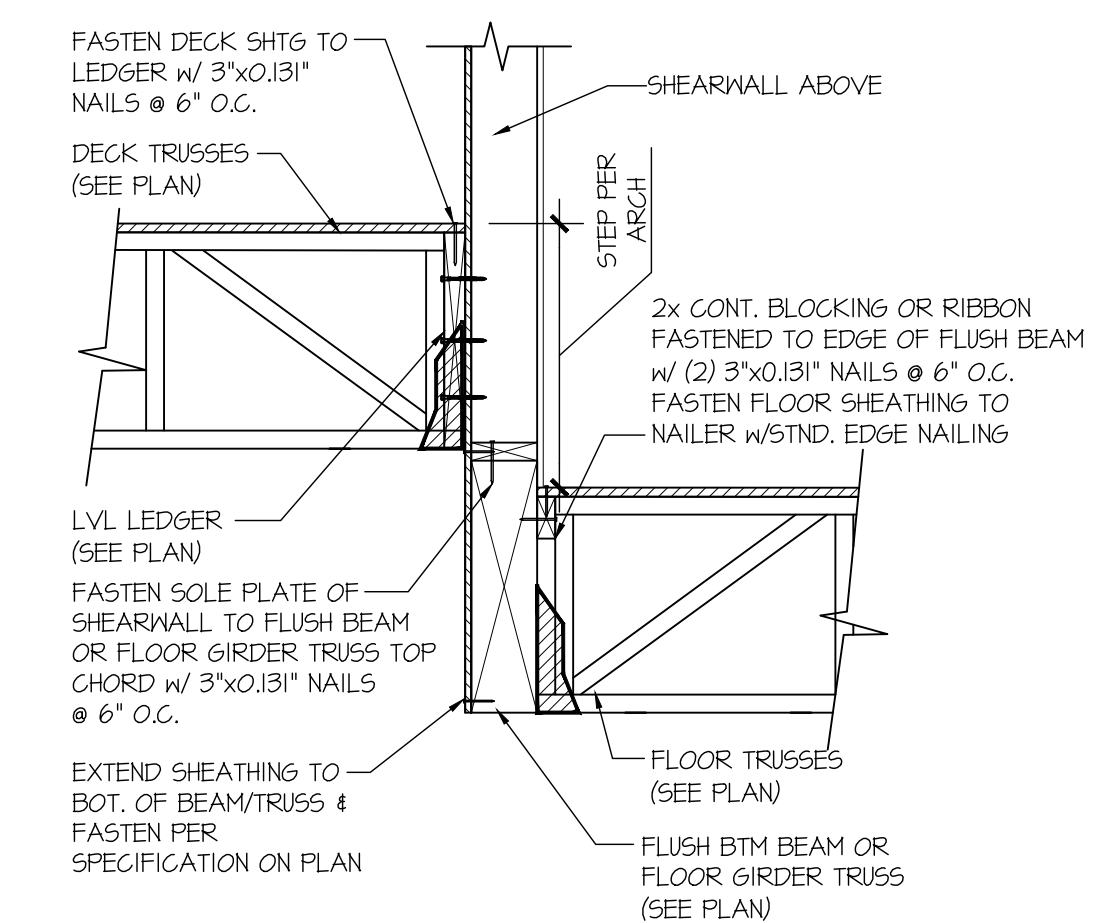
**22** TYPICAL SHEAR TRANSFER DETAIL  
BETWEEN FLOORS @ INTERIOR WALL  
SCALE: 3/4"=1'-0"



**23** SHEAR TRANSFER DETAIL  
@ INTERIOR SHEAR WALL  
SCALE: 3/4"=1'-0"



**31** SHEAR TRANSFER DETAIL BETWEEN  
FLOORS @ CANT'D EXT. WALL  
SCALE: 3/4"=1'-0"



**40** SHEAR TRANSFER DETAIL @  
EXTERIOR SHEARWALL ABOVE  
SCALE: 3/4"=1'-0"



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p 619-560-0010 m+k@mulhernkulp.com

M&K project number: 203-22010

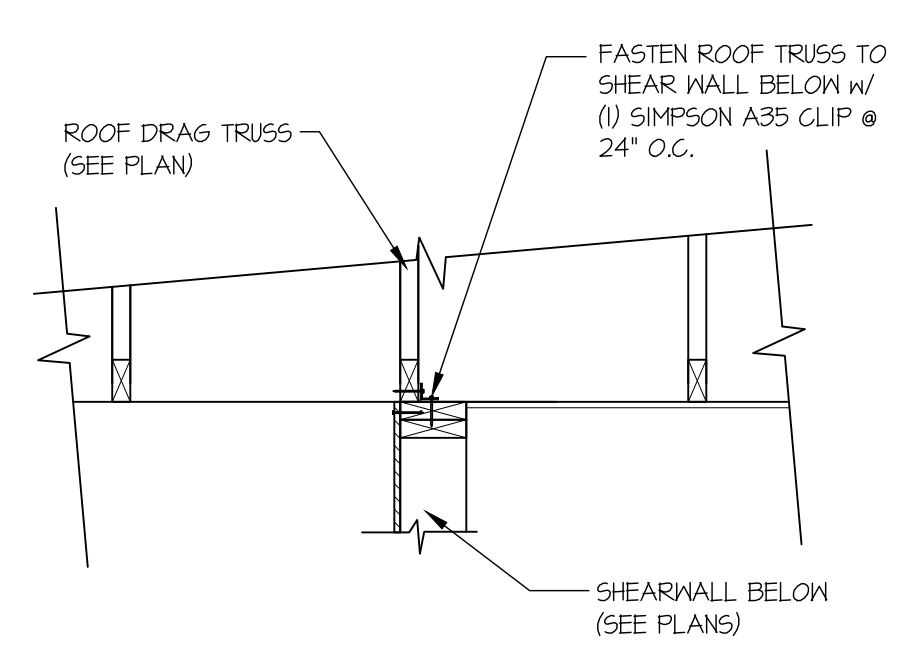
project mgr: NJM  
drawn by: LGH  
issue date: 05-04-22

| REVISIONS:                |          |
|---------------------------|----------|
| date:                     | initial: |
| 04/28/2023                | LGH      |
| 06/21/2023                | LGH      |
| 10/05/2023                | LGH      |
| 11/27/2023                | LGH      |
| ADDL PLAN REVIEW COMMENTS |          |

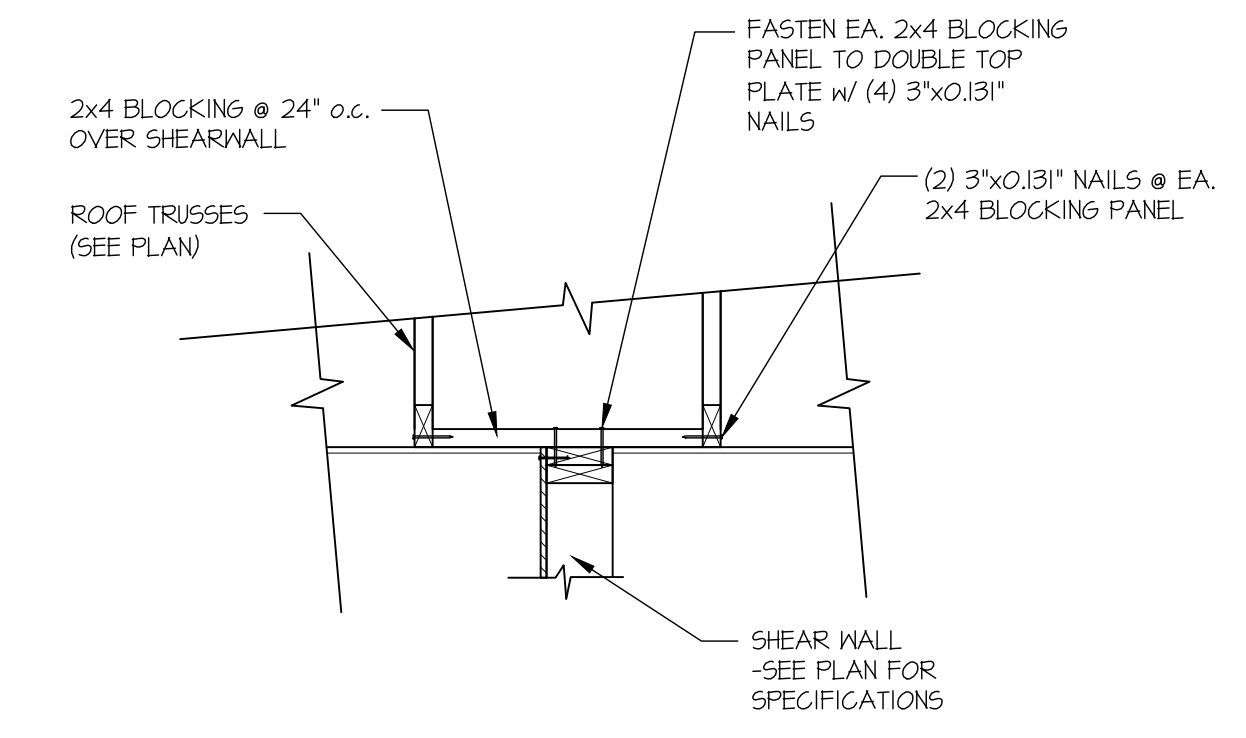
ARCHITECTURAL  
INNOVATIONS

STRUCTURAL DETAILS  
3036 67TH AVE. SE  
MERCER ISLAND, WASHINGTON

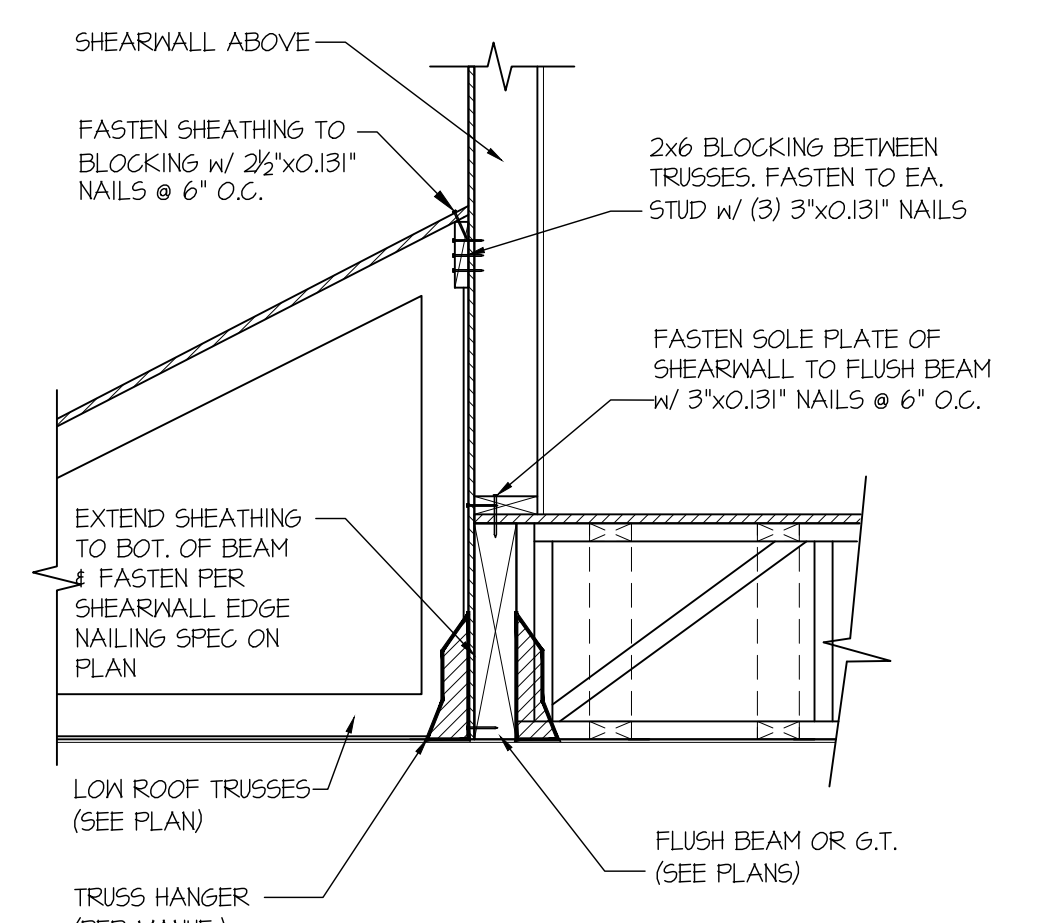
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**SD-3**



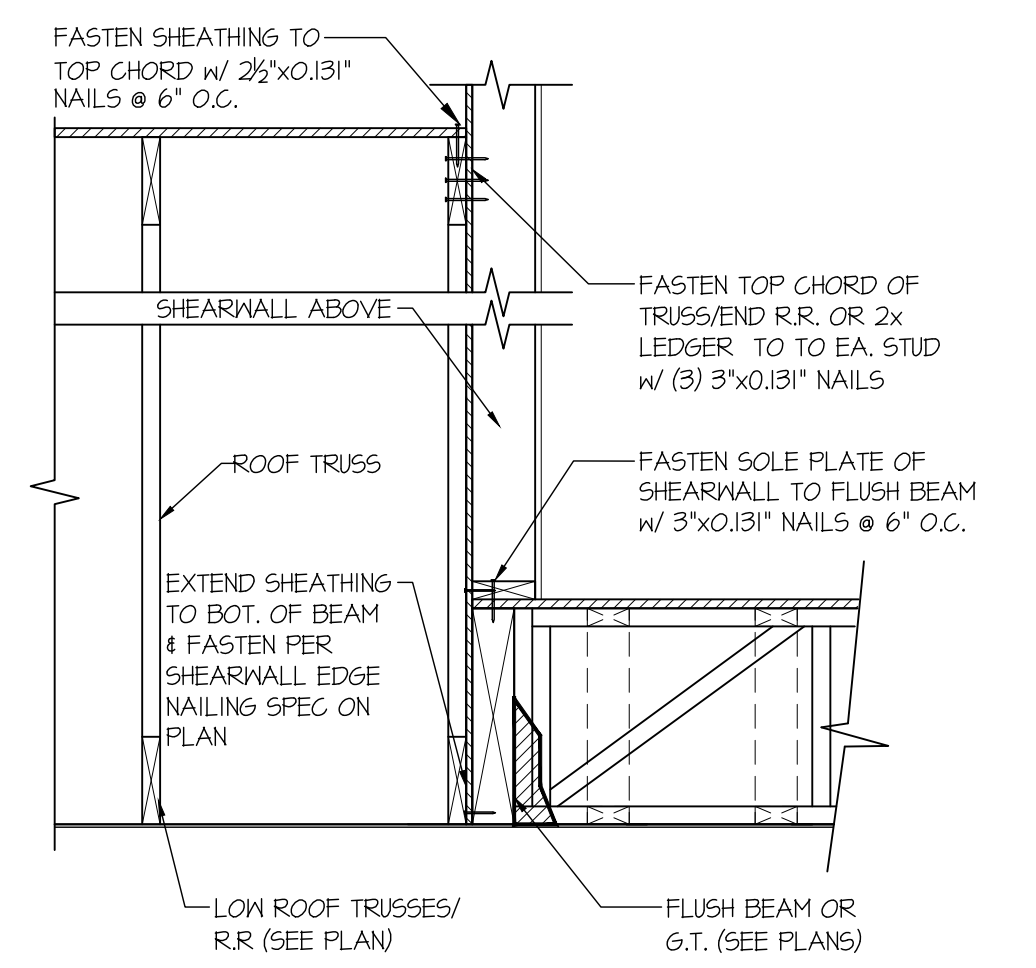
**47** SHEAR TRANSFER DETAIL @  
INTERIOR SHEARWALL BELOW  
SCALE: 3/4"=1'-0"



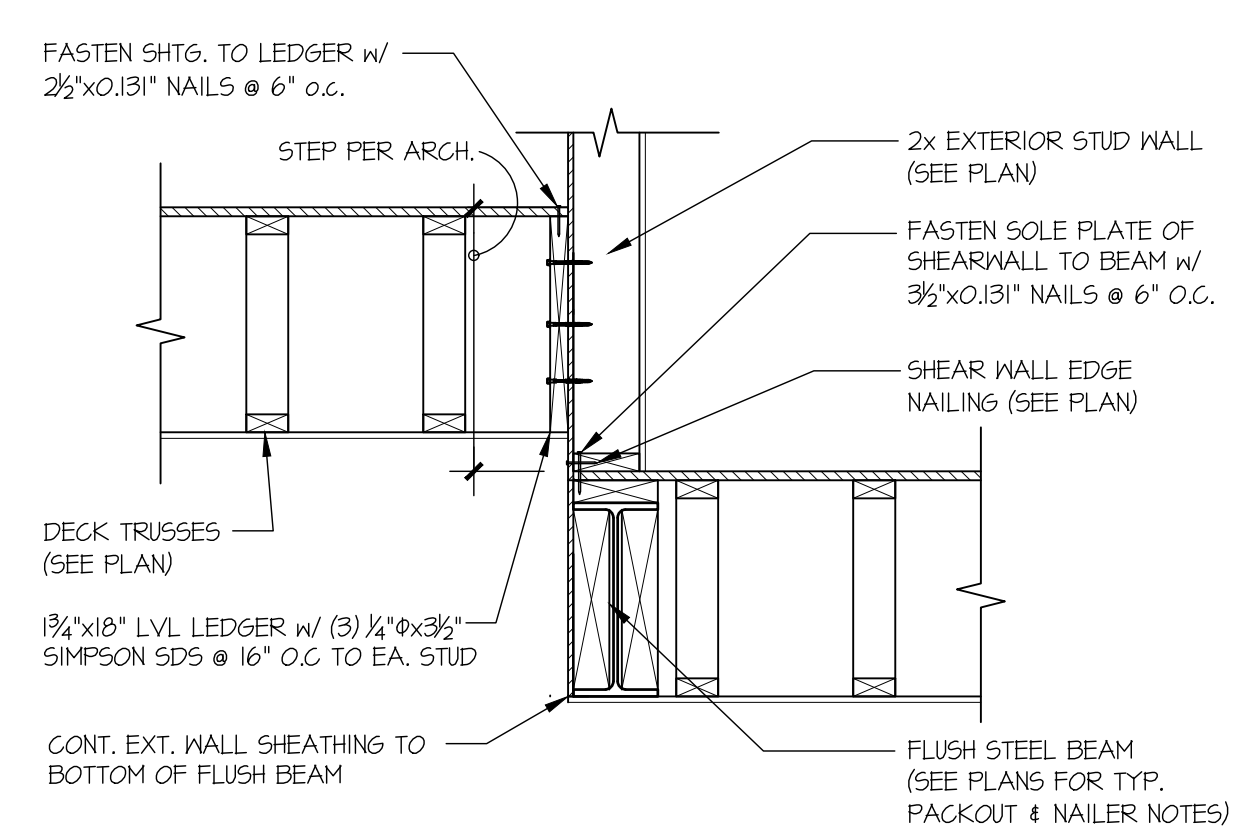
**48** SHEAR TRANSFER DETAIL @  
INTERIOR SHEARWALL BELOW  
SCALE: 3/4"=1'-0"



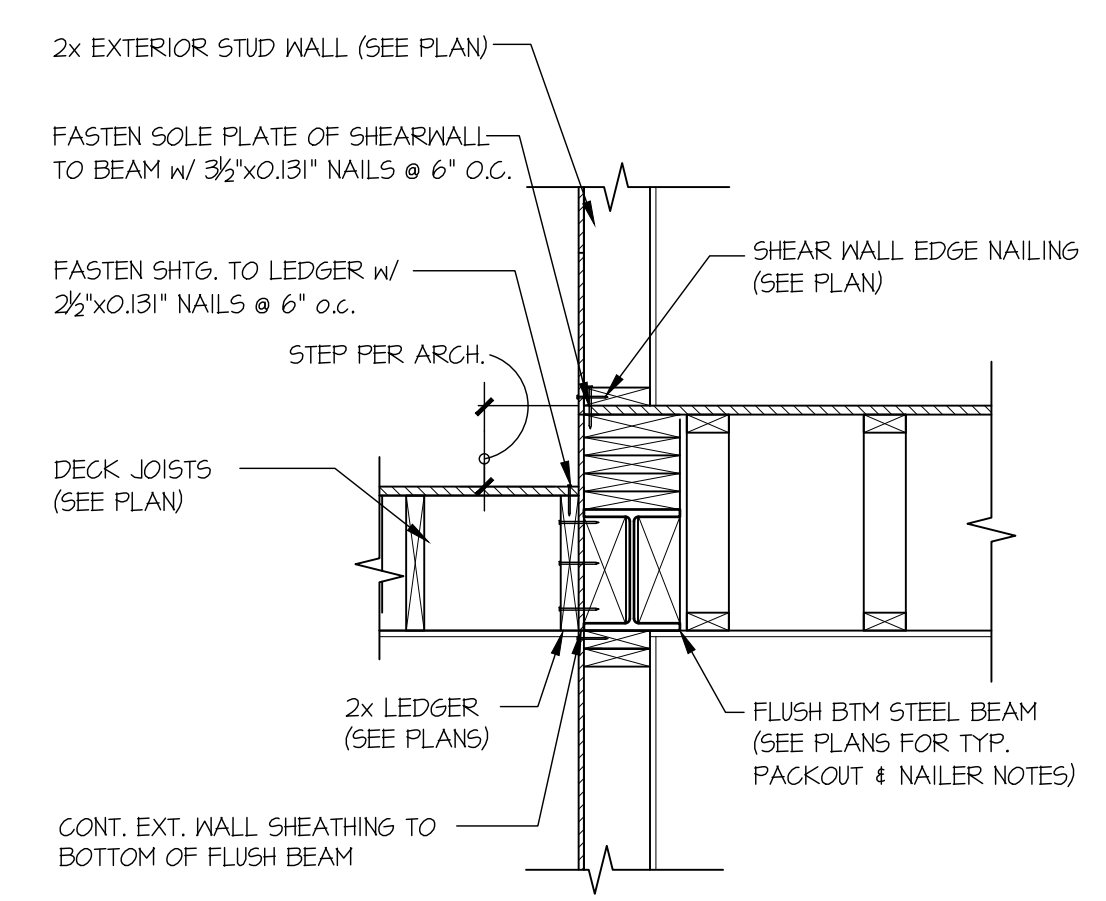
**58** SHEAR TRANSFER DETAIL @  
EXTERIOR SHEARWALL ABOVE  
SCALE: 3/4"=1'-0"



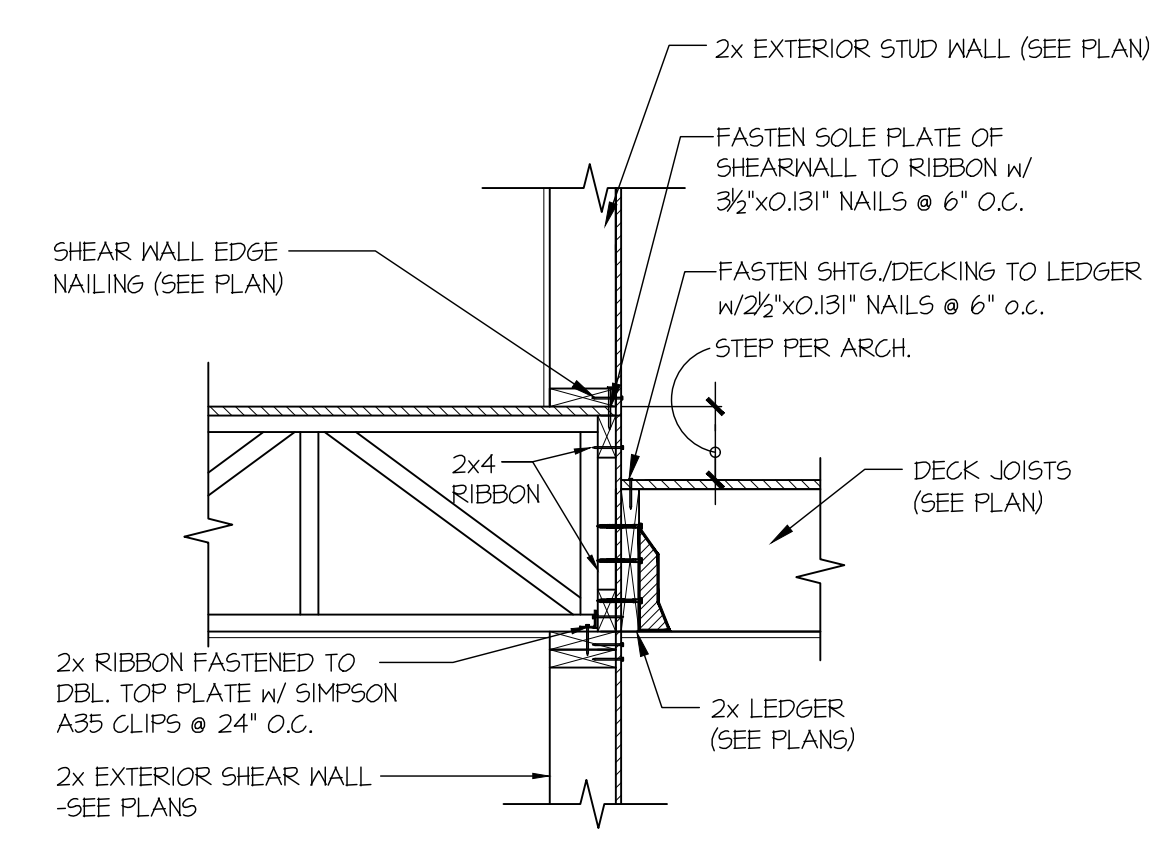
**59** SHEAR TRANSFER DETAIL @  
EXTERIOR SHEARWALL ABOVE  
SCALE: 3/4"=1'-0"



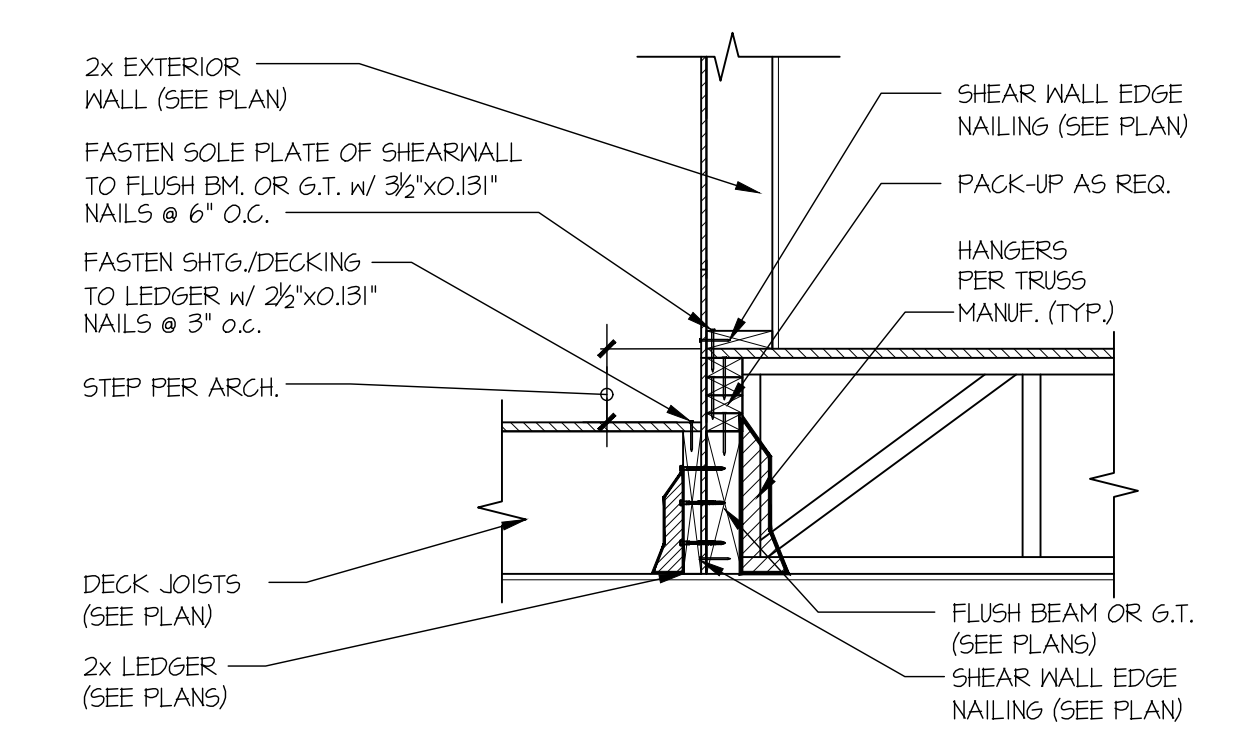
**72** TYPICAL SHEAR TRANSFER  
DETAIL @ EXT. DECK FRAMING  
SCALE: 3/4"=1'-0"



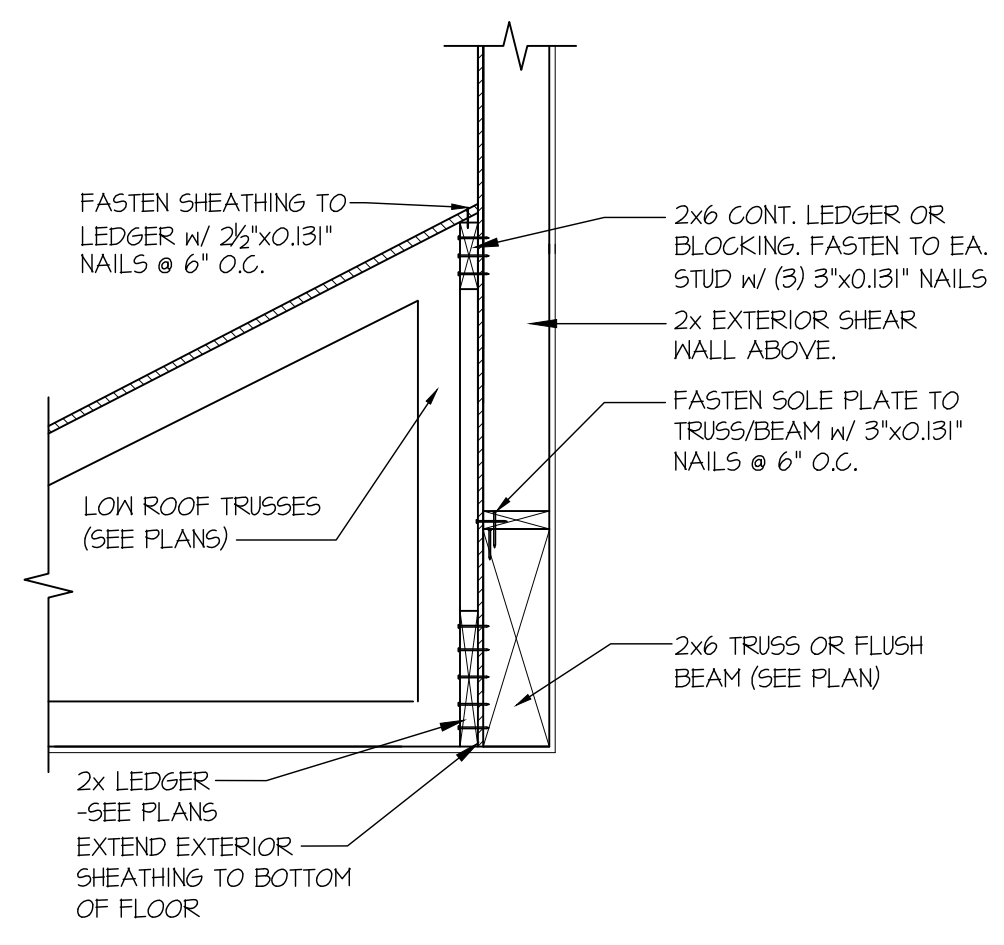
**78** TYPICAL SHEAR TRANSFER  
DETAIL @ EXT. DECK FRAMING  
SCALE: 3/4"=1'-0"



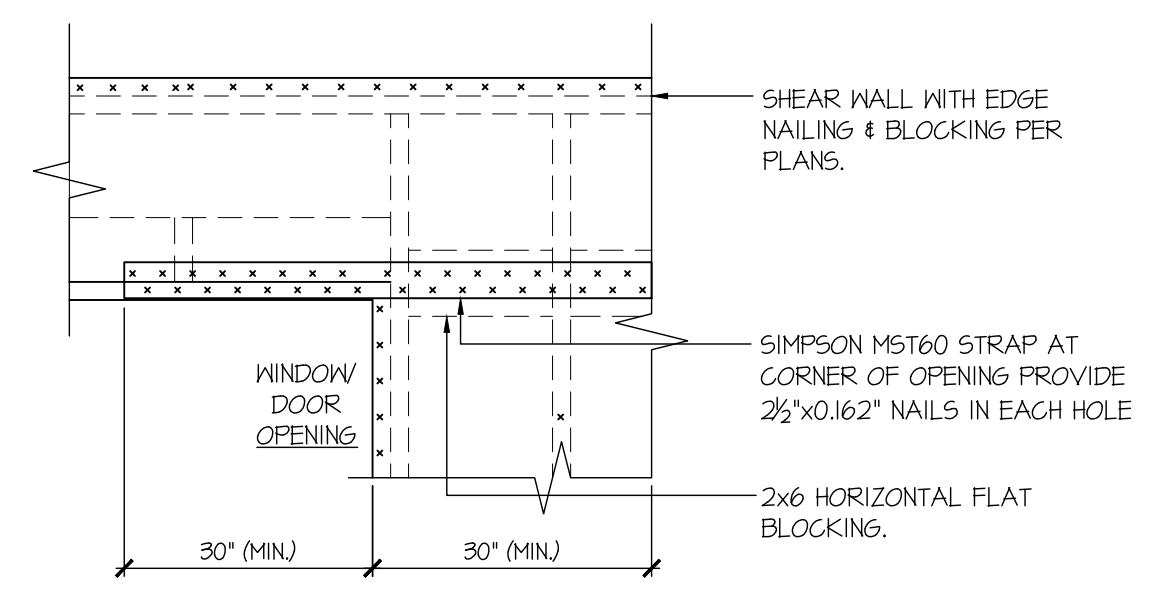
**79** TYPICAL SHEAR TRANSFER  
DETAIL @ EXT. DECK FRAMING  
SCALE: 3/4"=1'-0"



**83** SHEAR TRANSFER DETAIL @ EXT.  
DECK FRAMING  
SCALE: 3/4"=1'-0"

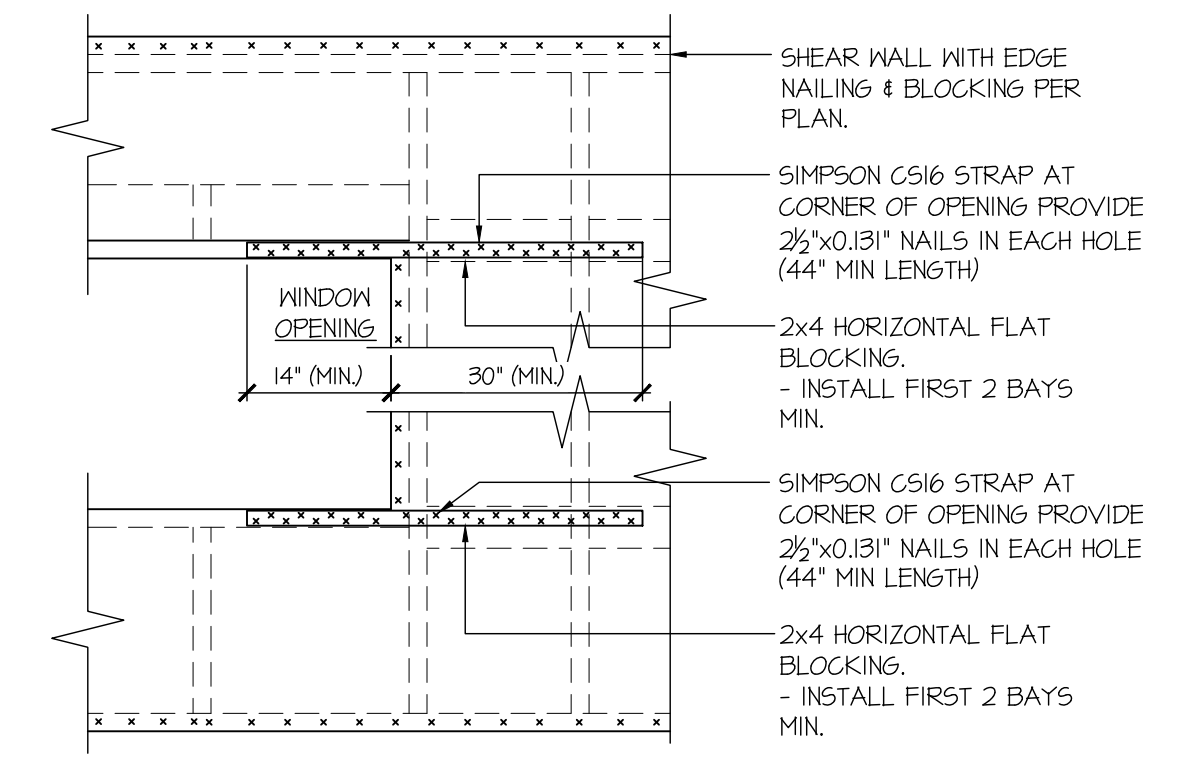


**88** SECTION  
SCALE: 3/4"=1'-0"



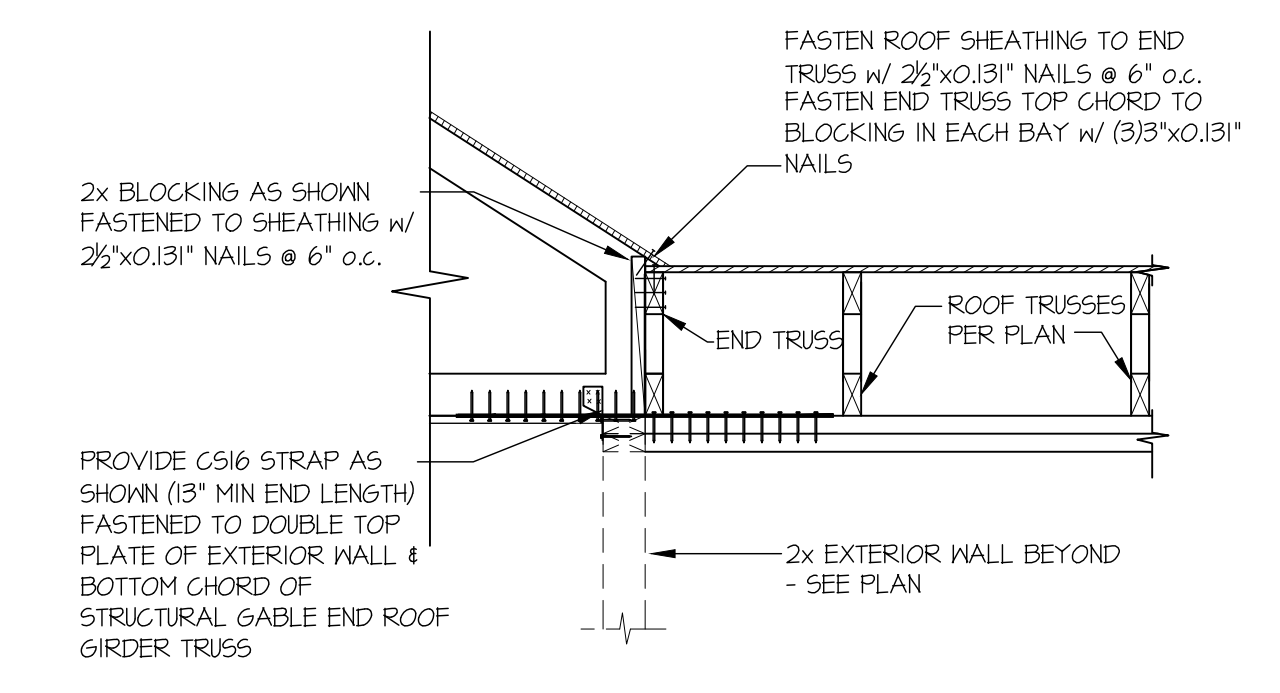
- DETAIL SIMILAR AT BOTTOM CORNERS OF WINDOWS.
- ONLY REQUIRED WHERE SPECIFIED ON STRUCTURAL PLANS
- IF MIN LENGTH IS NOT PROVIDED RUN STRAP TO END OF WALL

**92** EXT. WALL & INT. SHEARWALL  
OPENING ELEVATION  
SCALE: NTS

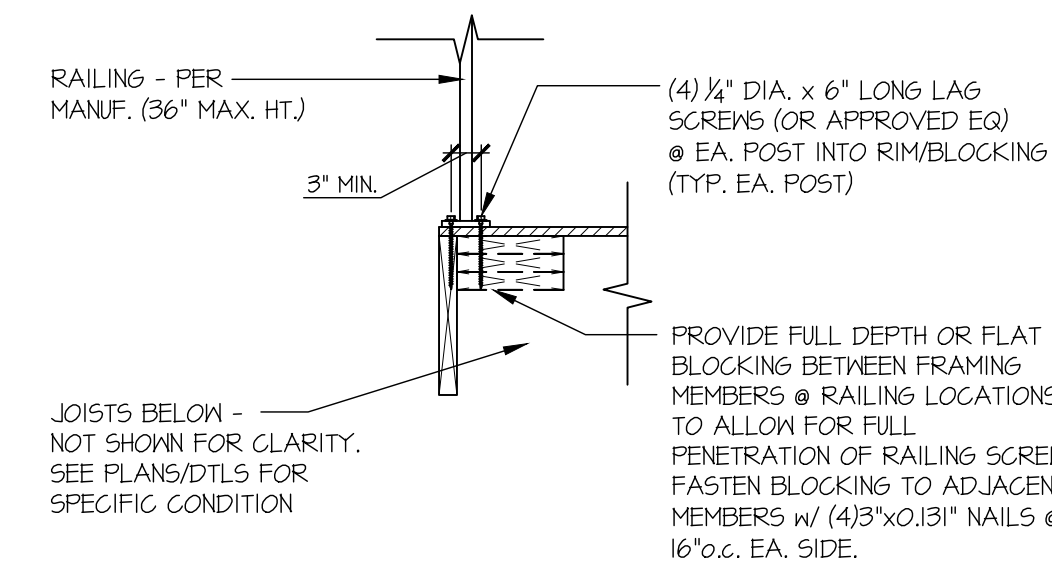
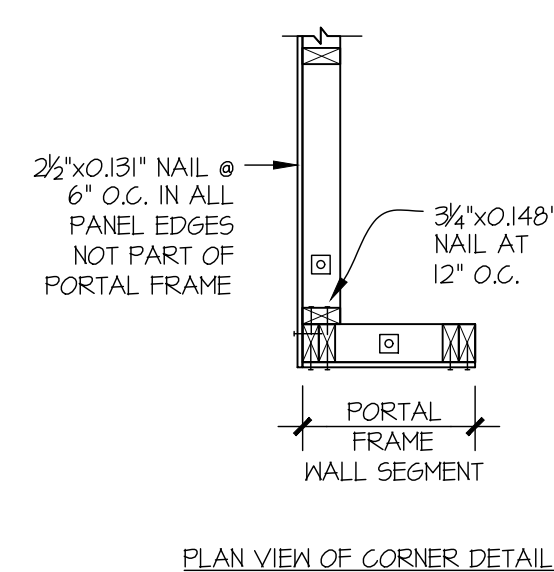
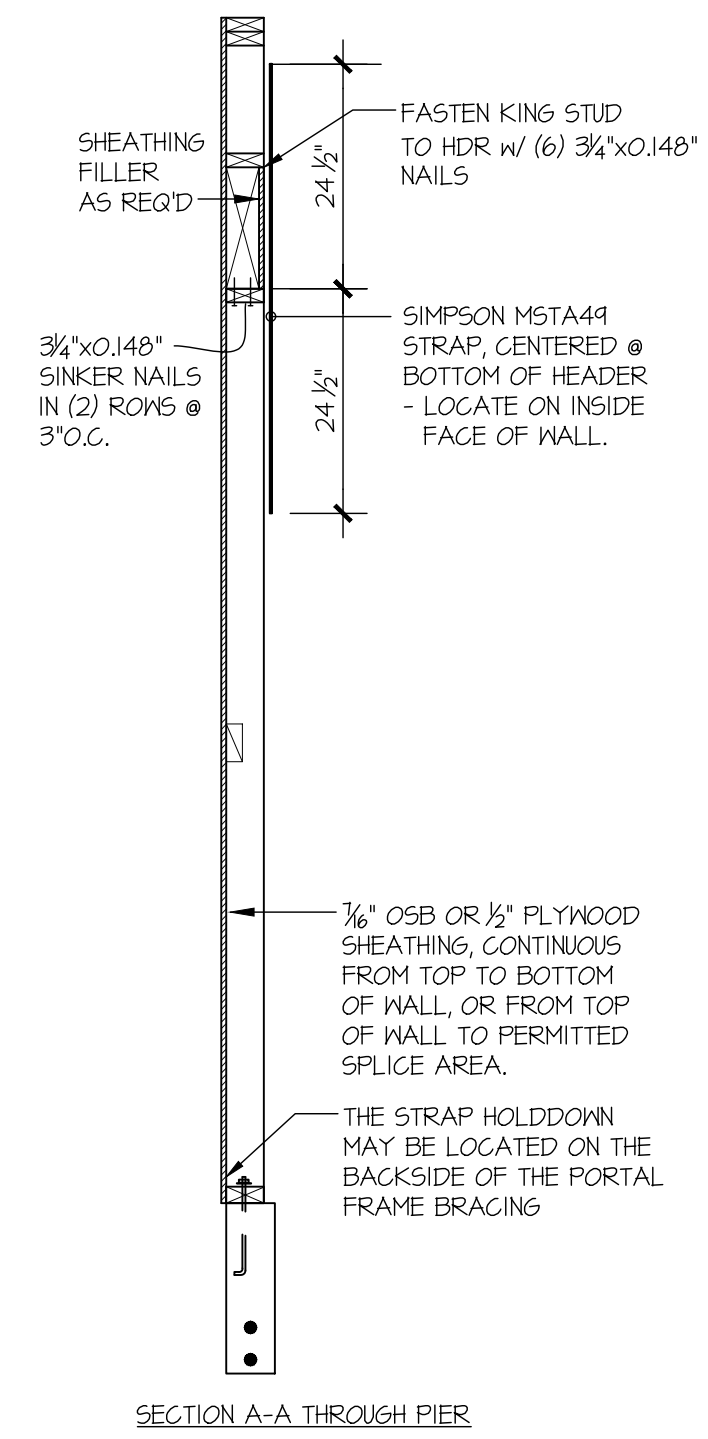
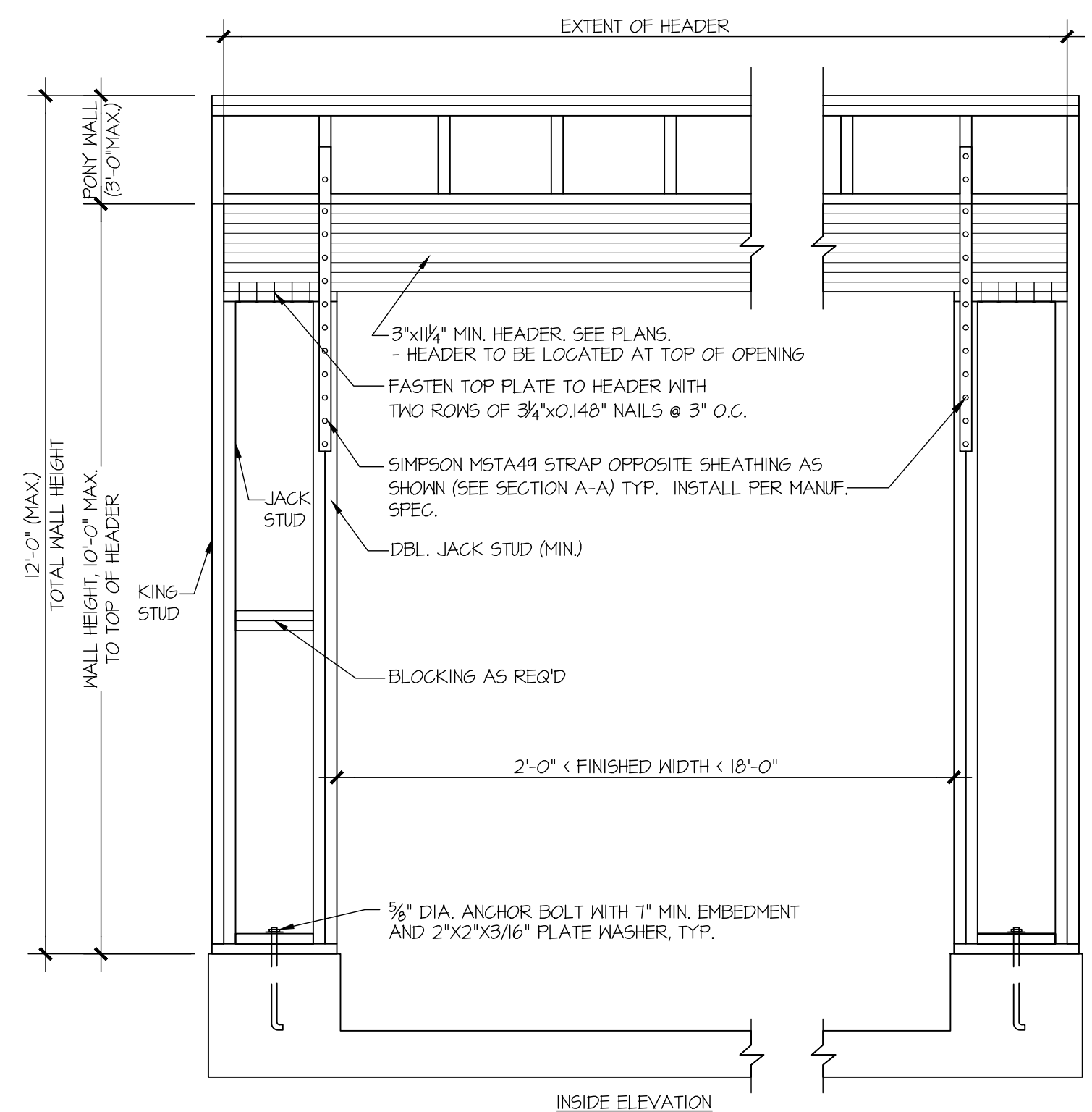
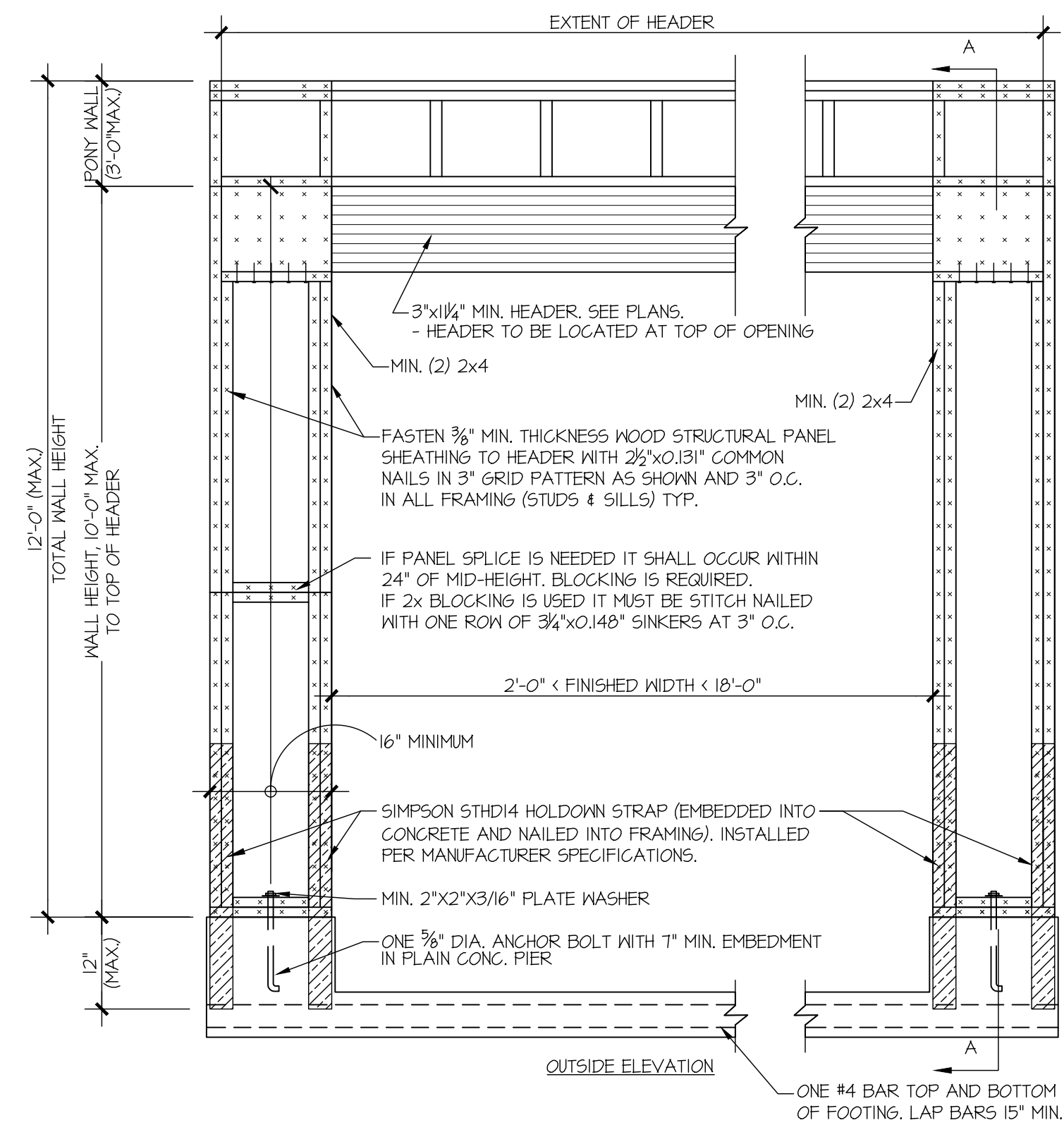


- ONLY REQUIRED WHERE SPECIFIED ON STRUCTURAL PLANS
- IF MIN LENGTH IS NOT PROVIDED RUN STRAP TO END OF WALL

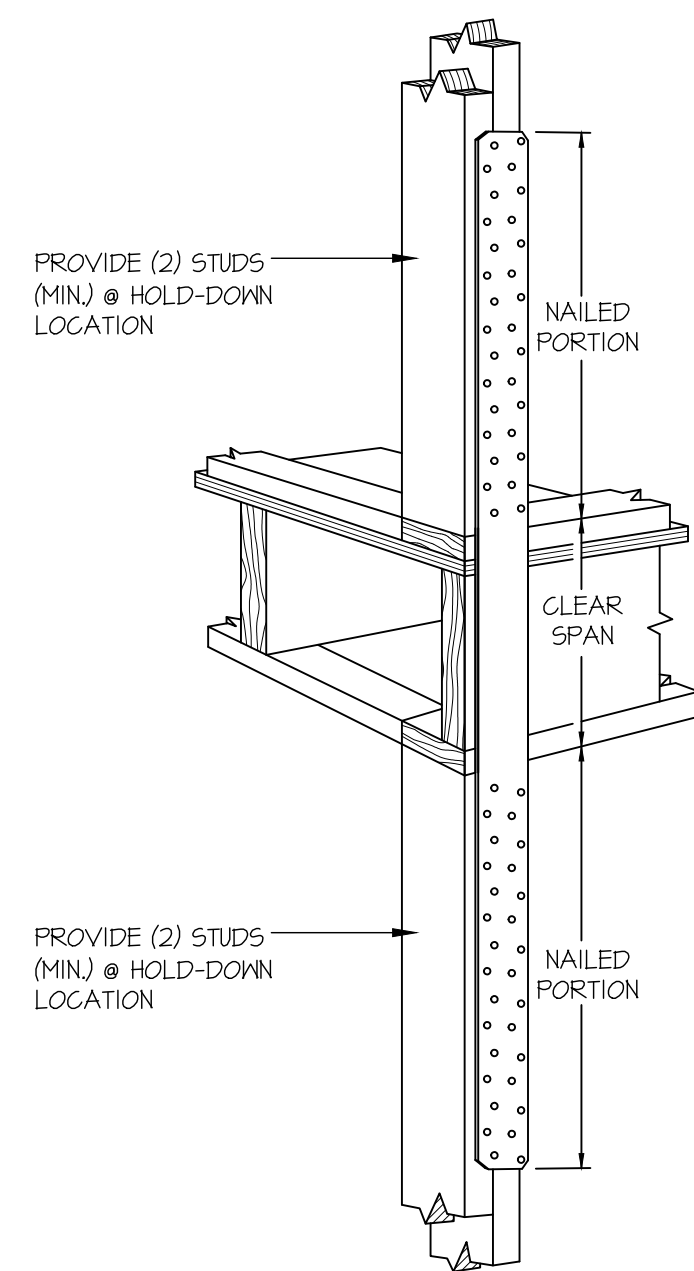
**94** EXT. WALL & INT. SHEARWALL  
OPENING ELEVATION  
SCALE: NTS



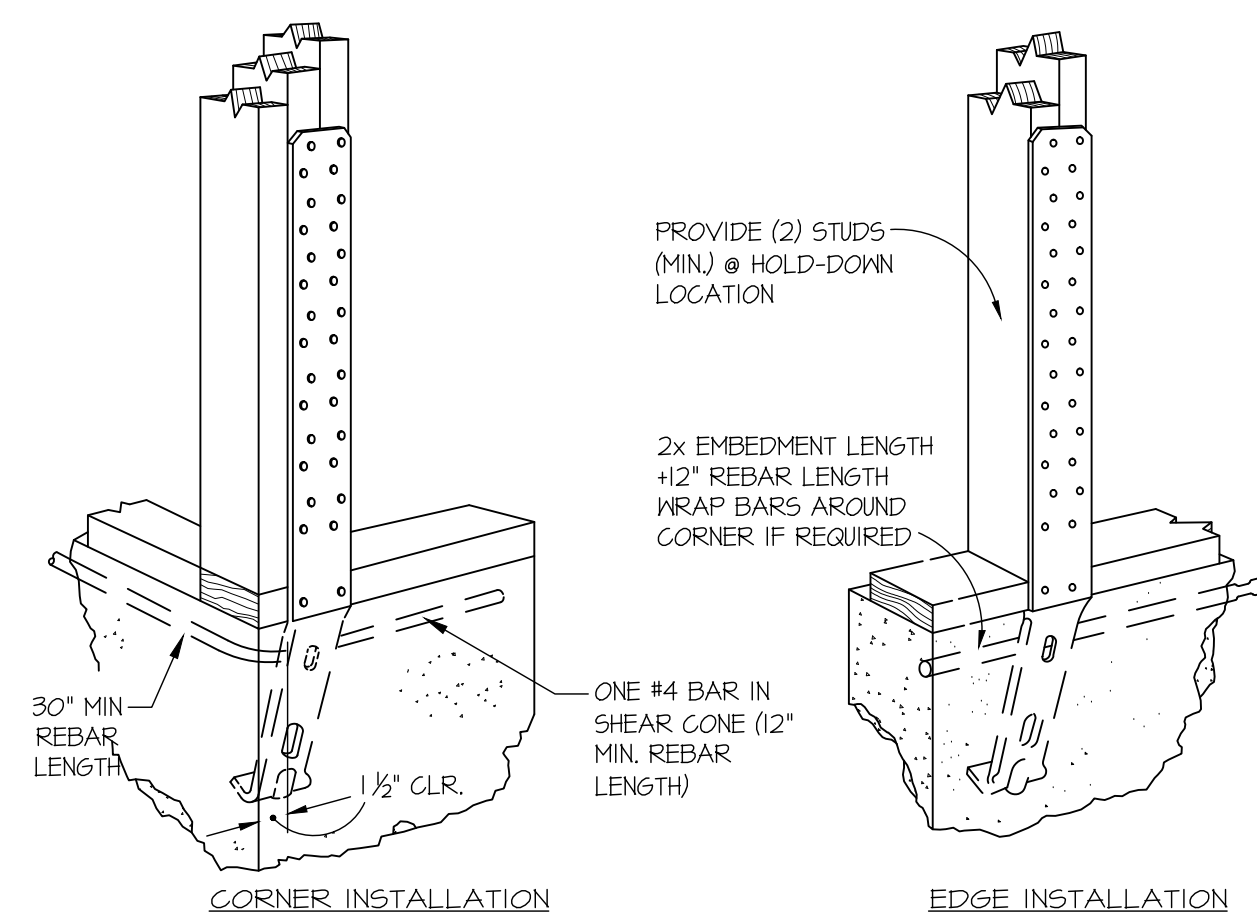
**117** STRAP DETAIL  
SCALE: 3/4"=1'-0"



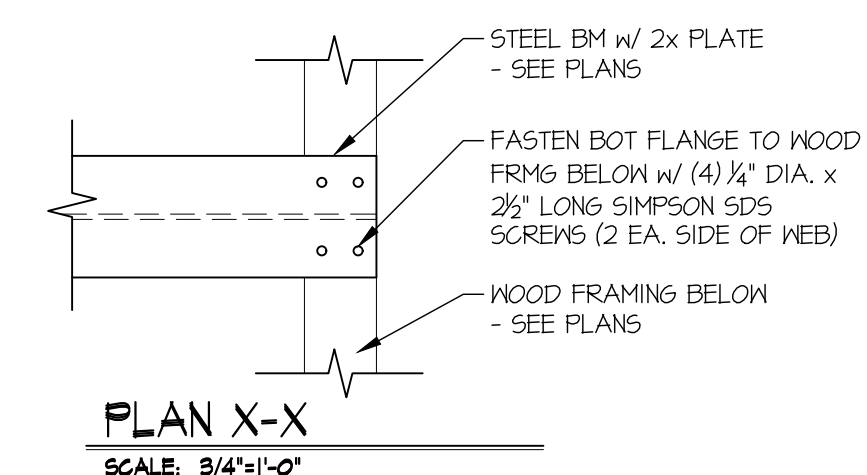
**A TYP. RAILING CONNECTION**  
SCALE: 3/4"=1'-0" WOOD FRMG BELOW



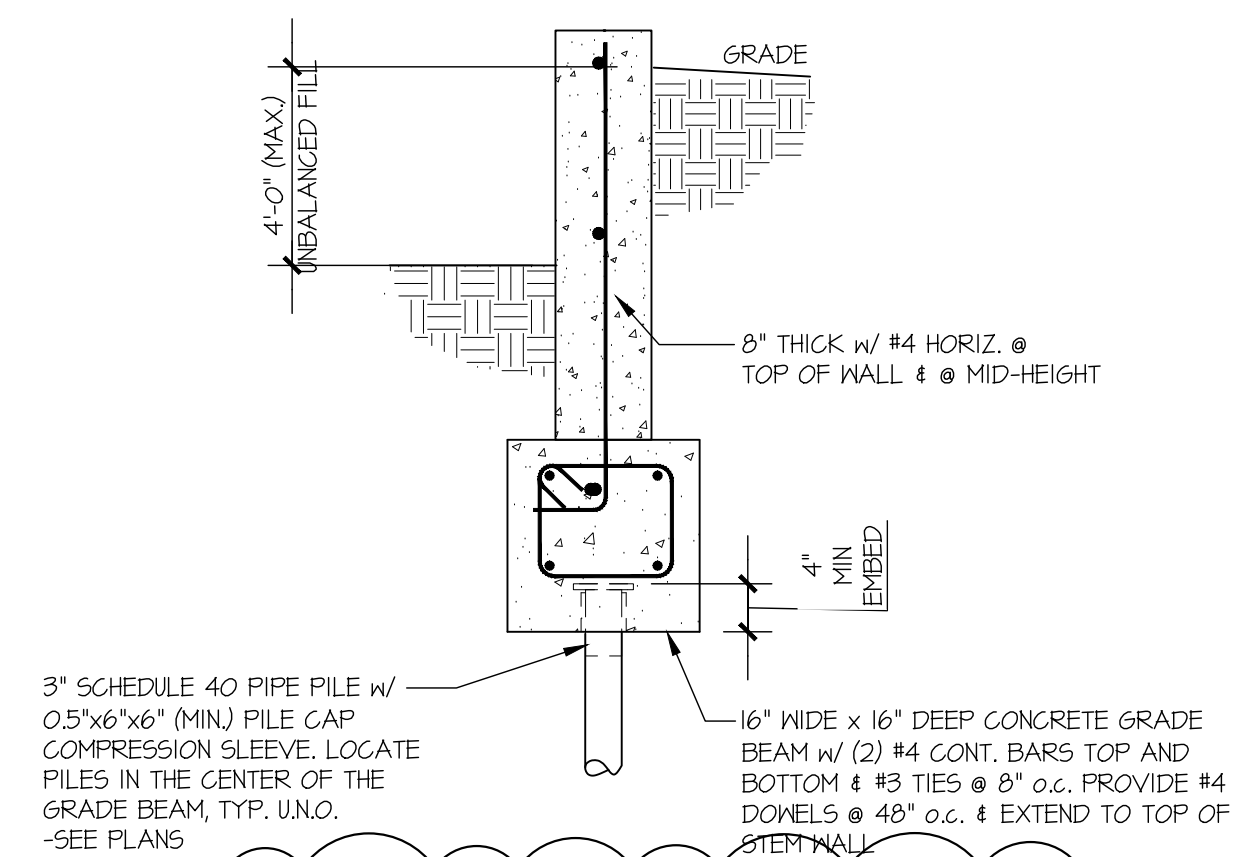
**C TYPICAL HOLD-DOWN INSTALLATION**  
NOT TO SCALE SIMPSON STRAP HD @ FLOOR FRAMING



**B TYPICAL HOLD-DOWN INSTALLATION**  
NOT TO SCALE SIMPSON STRAP HD @ FOUNDATION



**D STL BM TO WOOD FRMG CONNECTION**  
SCALE: 3/4"=1'-0"



**E SITE RETAINING WALL**  
SCALE: 3/4"=1'-0"

**1 APA PORTAL FRAME DETAIL WITH HOLDOWNS**  
SCALE: N.T.S.



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| date:                     | initial: |
| 04/28/2023                | LGH      |
| ARCH REVISIONS            |          |
| 06/21/2023                | LGH      |
| PLAN REVIEW COMMENTS      |          |
| 10/05/2023                | LGH      |
| PIPE FILE REVISION        |          |
| 11/27/2023                | LGH      |
| ASDL PLAN REVIEW COMMENTS |          |

ARCHITECTURAL INNOVATIONS

STRUCTURAL DETAILS  
3036 67TH AVE. SE  
MERCER ISLAND, WASHINGTON

sheet: **SD-4**